



The Corporation of the
Town of Milton
Committee of Adjustment and Consent

Thursday, July 31, 2025, 6:00 p.m.
Council Chambers - In Person

The Town of Milton is resuming the Committee of Adjustment and Consent (COA) meetings in person as of January 26, 2023. Applicants and interested parties can participate in person at Town Hall, Council Chambers, 150 Mary Street.

	Pages
1. AGENDA ANNOUNCEMENTS / AMENDMENTS	
2. DISCLOSURE OF PECUNIARY INTEREST	
3. HOUSEKEEPING	
4. MINUTES	
4.1 Minutes from the Committee of Adjustment June 26, 2025	3
5. ITEMS FOR CONSIDERATION	
5.1 A25-032/M 10 Victoria Street	8
The applicant has requested permission to place two heat pump units in the front yard to optimize their efficiency, and because the Subject Property's rear and side yards are already occupied by parking, a deck, servicing infrastructure, and basement windows.	
5.2 A25-033/M 126 Ashbrook Court	
* Details and Planning Report will be provided prior to the CoA Hearing as a revised agenda.	
5.3 A25-034/M 540 Moorelands Crescent	12
The applicant is proposing to establish an Additional Residential Unit (ARU) in the basement of the existing single-detached dwelling. The ARU will include a below-grade entrance located in the interior side yard and to access the unit.	
5.4 A25-035/M 804 Trudeau Drive	17
To facilitate the creation of an Additional Dwelling Unit (ADU), the application requests a minor variance to permit an existing chimney to encroach 0.3 metres into the pathway leading to the ADU entrance, as the Zoning By-law requires this access to remain unobstructed.	

5.5	A25-036M 955 James Snow Parkway	22
	The subject application is to obtain relief from the maximum floor area permitted for a detached accessory structure for waste storage as well as allow for outdoor storage to be permitted as an accessory use in the existing zone from the Town's Zoning By-law (016-2014), as amended, in order to facilitate the proposed industrial warehouse/distribution building on the property.	
5.6	A25-037/M 993 McCutcheon Crescent	27
	The purpose of this application is to facilitate the construction of a new accessory structure in the western side yard, and a gazebo in the rear yard, which would cumulatively exceed the maximum permitted gross floor area for accessory buildings and structures.	
5.7	A25-038/M 1496 Buttercup Court	32
	The applicant is proposing to establish an Additional Residential Unit (ARU) in the basement of the existing single-detached dwelling. The ARU will utilize an existing above-grade side entrance in the interior side yard to access the unit and as part establishing this entrance a fire-rated corridor is required in the garage as per the standards of the Ontario Building Code (OBC)	
5.8	A25-039/M 11733 Fourth Line	37
	The purpose of the application is to facilitate the construction of a new detached garage, replacing the existing garage and maintaining the same height and gross floor area.	
5.9	A25-040/M 8015 Lawson Road	42
	The proposed minor variances would facilitate the development of the Subject Property with a two-storey motor vehicle dealership.	
	Note that this application is tied to an ongoing Site Plan Application (File no. SP-01-25) and the Site Planner has confirmed that the application has progressed to a stage where it would be appropriate to review the required variances.	
5.10	A25-041/M 108 Bowes Street	48
	The applicant is proposing to demolish the existing dwelling and detached garage for the purposes of a new residential rebuild. As part of this proposed development, the applicant is requesting relief from the Town's Zoning By-law to allow for an increase in the maximum lot coverage. Another component of this proposed development includes relocating the driveway.	

6. NEXT MEETING

Thursday, August 28, 2025 commencing at 6:00 p.m.

7. ADJOURNMENT



The Corporation of the
Town of Milton
Committee of Adjustment Minutes

June 26, 2025, 6:00 p.m.

The Committee of Adjustment for the Corporation of the Town of Milton met in regular session in person. All members were present except member Jayaveer.

1. **AGENDA ANNOUNCEMENTS / AMENDMENTS**

None.

2. **DISCLOSURE OF PECUNIARY INTEREST**

None.

3. **HOUSEKEEPING**

4. **MINUTES**

4.1 **Minutes from Committee of Adjustment May 29, 2025**

THAT the minutes from the May 29, 2025 Committee of Adjustment be
APPROVED

Carried

5. **ITEMS FOR CONSIDERATION**

5.1 **A25-026/M 83 Fulton Street**

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Jansen Consulting and stamped by Town Zoning on May 13, 2025.

2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Carried

5.2 A25-027/M 269 Martin Street

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Tarasick McMillan Kubicki Ltd. and stamped by Town Zoning on May 16, 2025.
2. The Owner acknowledges that there are outstanding grading defects on the property dating back to December 2023 related to Town Building Permit #23-3737 that needs to be dealt with and to the satisfaction of Town Engineering Staff;
3. That a Site Grading Plan will need to be submitted and reviewed by Town Engineering Staff;
4. That the Owner is required to regrade the side yard adjacent to 263 Martin Street to align with existing grades and to the satisfaction of Town Engineering Staff;
5. That the Owner installs the proposed retaining wall and interceptor swale in accordance with the Approved Grading Plan (Permit #23-3737) which will need to be reflected in the submitted Site Grading Plan for Building Permit approval.
6. That a Building Permit be obtained within two (2) years from the date of the decision; and
7. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Carried

5.3 A25-028/M 734 Miltonbrook Crecent

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Heritage Solutions and stamped by Town Zoning on May 27, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Carried

5.4 A25-029/M 455 Clarkson Gate

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by ArchiStudios Inc. and dated and stamped by Town Zoning on May 26, 2025.
2. That prior to Building Permit issuance, the applicant incorporates a sprinkler system, designed by a qualified professional in fire protection systems and in accordance with NFPA 13D standards, within the building permit package for the proposed Additional Residential Unit;
3. That a Building Permit be obtained within two (2) years from the date of the decision; and
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Carried

5.5 A25-030/M 2221 Kean Hill Drive

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Care Engineering & Design Services Inc. and stamped by Town Zoning on May 15, 2025.
2. That the detached garage be used for storage of personal vehicles and items only and will not be used for human habitation or business purposes.
3. That the applicant proceeds with tree planting near the interior side yard and location of the proposed detached garage.
4. That a Building Permit be obtained within two (2) years from the date of the decision; and
5. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Carried

5.6 A25-031/M 6390-6400 Fifth Line

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Glenn Piotrowski Architect and dated and stamped by Town Zoning on May 14, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Carried

6. **NEXT MEETING**

7. **ADJOURNMENT**

Scott Corbett, Secretary Treasurer



The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Olivia Hayes

Date: July 31, 2025

File No: A-25-032M

Subject: 10 Victoria Street

**Recommendation: THAT the application for minor variance BE APPROVED
SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed generally in accordance with the site plan prepared by KA and dated and stamped by Town Zoning on June 16, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision.
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to:

- Permit the location of two heat pump units in the front yard, whereas the Zoning By-law only permits HVAC units accessory to a residential use to be located in a rear or interior side yard.

The Subject Property, municipally known as 10 Victoria Street, is situated north of Main Street West and east of Bronte Street North. Currently, the Subject Property is occupied by a 2-storey detached residential dwelling. The applicant has requested permission to place two heat pump units in the front yard to optimize their efficiency, and because the Subject Property's rear and side yards are already occupied by parking, a deck, servicing infrastructure, and basement windows.

Official Plan Designation (including any applicable Secondary Plan designations)

Halton Region Official Plan

The Subject Property is located within the Urban Area, per Map 1 - Regional Structure. The Urban Area consists of lands with existing or planned urban services, and is intended to accommodate the Region's residential and employment growth.

Town of Milton Official Plan

The Subject Property is designated Central Business District by Schedule B - Urban Area Land Use Plan. Further, the Subject Property is designated Low Density Residential Sub-Area by

Official Plan Designation (including any applicable Secondary Plan designations)

Schedule C - Central Business District Land Use Plan, and is located within the Downtown Character Area boundary. Policy 3.5.3.1 establishes that the intent of the Central Business District designation is to preserve, promote and enhance the function of the core area of the Town as its primary centre for commerce, tourism and civic activity at a pedestrian scale.

With respect to Mature Neighbourhood Areas, policy 3.2.1.9 directs that proposed development should be generally consistent with the setbacks, orientation and building separation distances within the Mature Neighbourhood Area. Landscaping and fencing are encouraged to maintain established aesthetics and privacy.

Section 2.2 of the Official Plan outlines environmental policies, Specifically, policy 2.2.3.1 encourages development that is environmentally and economically sustainable, as well as uses that strive to enhance the natural environment.

It is Staff's opinion that the proposal is in conformity with the Halton Region Official Plan and the Town of Milton Official Plan.

Zoning

The Subject Property is zoned Low Density Residential 1 (RLD1) by Zoning By-law 016-2014, as amended. A range of low-rise residential uses are permitted within this zone, as well as home occupations. In addition, the Subject Property falls within the Mature Neighbourhoods Overlay, per Schedule F of the Zoning By-law.

Variance One: Section 4.6.1(i) Table 4E of the Zoning By-law establishes that air conditioning units and heat pumps may be located in an interior side yard or rear yard, but not in a front yard. The application seeks to locate two heat pump units in the front yard.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 16, 2025, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.



Consultation

Development Services Comments

Staff have no concerns with the requested variance, and do not foresee any adverse impacts from locating heat pumps in the front yard. Planning staff are of the opinion that the requested variance is minor in nature, conforms to the general intent of both the Official Plan and Zoning By-law, and is desirable for the development and use of the Subject Property.

The intent of the above-noted zoning provision is to limit heating and cooling systems from causing undesirable visual impacts as viewed from the public realm. Since existing vegetation will shield the heating units from view, the minor variance is able to maintain the intent of the Zoning By-law. Further, as the heat pumps would be set back 9.51 metres from the front lot line, they would not encroach into the minimum front yard setback of 4 metres. Similarly, the application maintains the intent of the Official Plan, which encourages uses that strive to enhance the natural environment; the proposed variance would facilitate the installation of an efficient and eco-friendly alternative to traditional heating and cooling systems. Locating the proposed heat pumps in the Subject Property's front yard would also not disrupt the existing setback pattern of the surrounding neighbourhood.

Both heat pump units are unobtrusive in size (with dimensions of 86.36 by 71.12 by 33.02 centimetres) and would be located flush against the front facade of the dwelling unit; as such, the heat pumps would function more similarly to a projection than to an accessory structure. Staff are satisfied that the heat pumps can be screened from the public realm, both by established vegetation and by the existing front porch (which extends 2.14 metres from the dwelling facade).

Respectfully submitted,

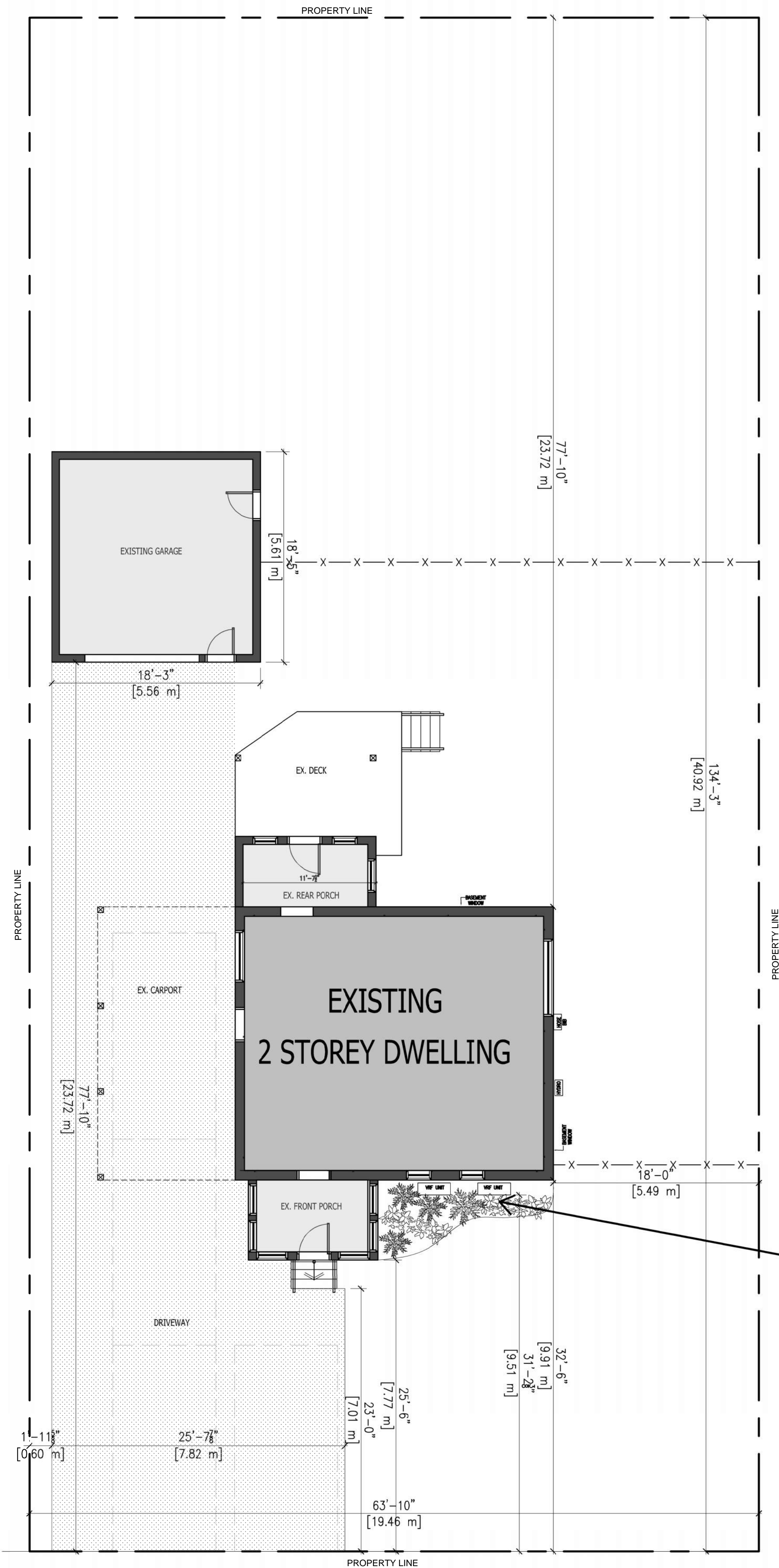
Olivia Hayes, B.E.S.
Planner, Development Review

For questions, please contact: Olivia.Hayes@Milton.ca

Phone: Ext. 2454

Attachments

Figure 1 - Site Plan



1 ENLARGED PARTIAL SITE PLANS
SCALE : 1:50

NEW
HEATPUMP UNIT
LOCATION

1 SITE PLANS
SCALE : 1:75



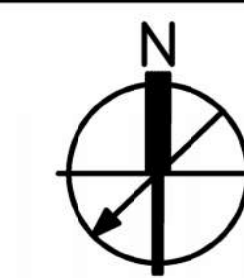
1	25.06.01	ISSUED FOR MINOR VARIANCE
NO.	DATE	REVISION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE HOMEOWNER.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.

COPYRIGHT RESERVED.



PROJECT
RESIDENTIAL INTERIOR ALTERATION
10 VICTORIA ST.
MILTON, ON. L9T 1S4

DRAWING TITLE
PROPOSED SITE PLAN

SCALE
AS NOTED

PROJECT NO.
25-2000

DRAWN BY
KA

DATE
25.05.09

DRAWING NO.

SP01



The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: July 31, 2025

File No: A-25-034M

Subject: 540 Moorelands Crescent

Recommendation: THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Sarwat S. Ahmed and stamped by Town Zoning on June 20, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to permit:

- a below-grade entrance to encroach + 1.03 metres into the interior side yard

The subject property is known municipally as 540 Moorelands Crescent and located south of Laurier Avenue. The subject property contains a single-detached dwelling with an attached two-car garage. Surrounding uses are residential and primarily single-detached dwellings.

The applicant is proposing to establish an Additional Residential Unit (ARU) in the basement of the existing single-detached dwelling. The ARU will include a below-grade entrance located in the interior side yard and to access the unit.

Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated Residential Area on Schedule B of the Urban Land Use Plan of the Town of Milton Official Plan. The Residential Area designation permits a variety of residential uses, including single detached dwellings and accessory buildings and structures.

The Town's Official Plan provides permissions for Additional Residential Units (ARUs) within the Residential Area designation. Section 2.7.3.17 of the Town's Official Plan provides permissions for Additional Residential Units (ARUs), subject to the following criteria:

- a) An ARU shall not be located on lands identified as hazard lands or as being within the regulatory flood plain, unless where specifically permitted by the Conservation Authority;
- b) An ARU will be compatible with neighbouring properties and the surrounding neighbourhood by taking into consideration scale and built form;
- c) An ARU must be connected to adequate municipal water and sewage services;
- d) An ARU must have no adverse effect on stormwater management systems;
- e) An ARU must have no adverse effect on site drainage as demonstrated through a grading plan;
- f) Safe access to an ARU must be ensured by meeting fire and emergency service requirements;
- g) Severance of an ARU from the lot shall not be permitted; and,
- h) An ARU shall be registered with the Town in accordance with the provisions of the Municipal Act.

Planning staff are satisfied that the proposed development is in conformity with the above-noted criteria and meets Regional and Town policy.

Zoning

The subject lands are zoned Site Specific Residential Low Density VII (RLD7*310) under the Town of Milton Zoning By-law 016-2014, as amended. The RLD7*310 zone permits a variety of residential uses, including ARUs.

Section 4.19.5 Table 4H of the Town's Zoning By-law only permits below-grade entrance is not permitted to encroach into a required interior side yard. The applicant is requesting permission to allow for below-grade stairs to be located in the interior side yard and to encroach 1.03 metres, to facilitate the proposed development.



Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 18, 2025, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Development Services Comments

The applicant has requested a minor variance to facilitate the construction of an Additional Residential Unit (ARU) within the existing basement of a single-detached dwelling with a two-car garage on the subject property.

The applicant is requesting permission to allow for below-grade entrance and stairs to be located in the interior side yard and to encroach 1.03 metres, This will alter the interior side yard setback to 1.37 metres, whereas the required interior side yard setback is 2.4 metres based on the Town's Zoning By-law.

Planning staff note that the proposed encroachment for below-grade entrance and stairs will only impact a small portion of the interior side yard and the remaining area will be unobstructed. Further, the proposed encroachment does not exceed the current 0.30 metre allowance associated with permitted encroachments set out in Section 4.10 vii) of the Town's Zoning By-law and is consistent with established performance standards and meets requirements and the review of Town Engineering Staff. Therefore, it is Planning Staff's opinion that the encroachment does not render the unobstructed pedestrian access inadequate and it can function as intended.

Planning staff have reviewed the requested variance and offer no objection to its approval. Planning staff are of the opinion that the requested variance is minor in nature, conforms to the general intent of both the Official Plan and Zoning By-law and is desirable for the development and use of the subject property.

Respectfully submitted,

Taylor Wellings



The Corporation of the Town of Milton

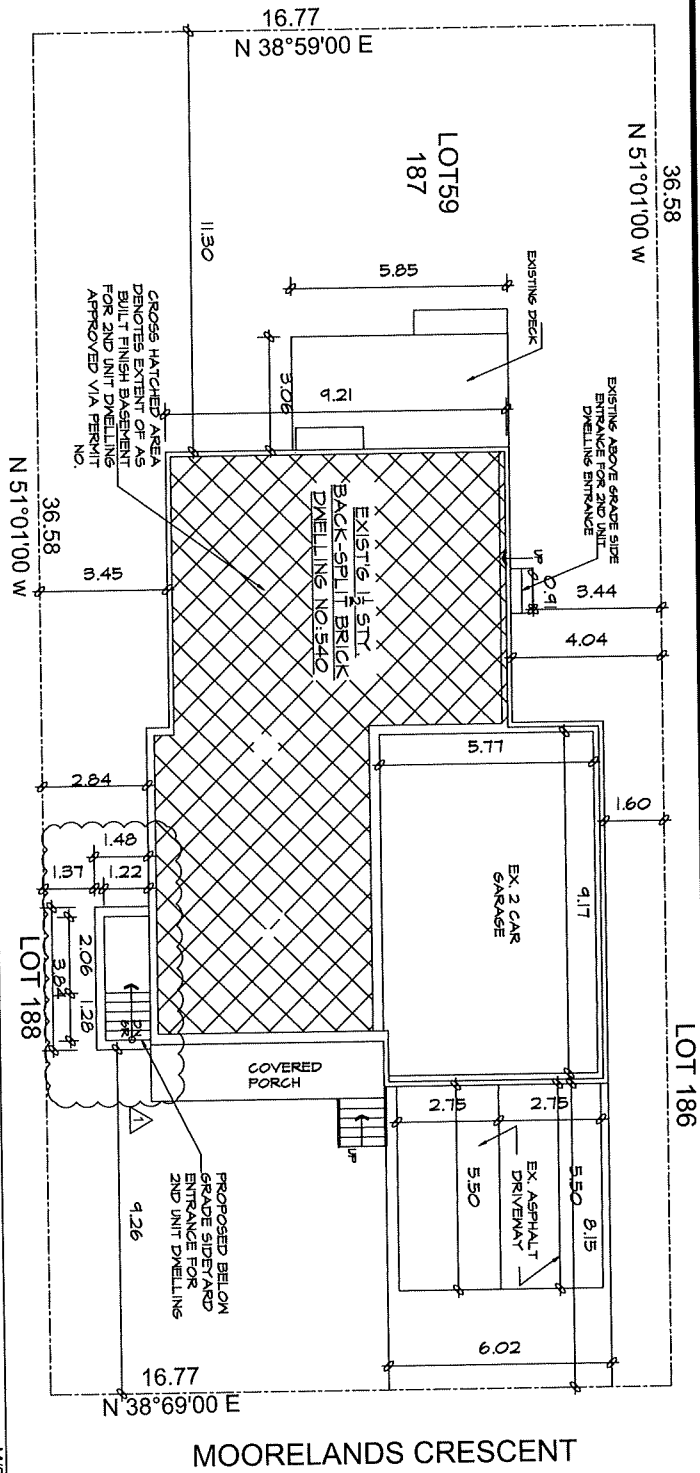
File #:
A-25-034M
Page 4 of 4

Taylor Wellings, MSc (PI), MCIP, RPP
Planner, Development Review

For questions, please contact:

Phone: Ext.2311

Attachments
Figure 1 - Site Plan



SITE PLAN
SCALE = 1:125 [3/32"=1'-0"]

SITE DATA	
LOT NO:	187
LOT AREA	613.45 SQ.M.
EXISTING	
BUILDING AREA (G.F.) (INCL. GARAGE + FRONT PORCH)	= 189.41 SQ.M. [2,038.15 SQ.FT.]
LOT COVERAGE	= 30.57 %
FLOOR AREA FIRST FLOOR	= 109.19 SQ.M. [1,174.90 SQ.FT.]
FLOOR AREA 2ND FLOOR	= 74.66 SQ.M. [803.43 SQ.FT.]
GROSS FLOOR AREA	= 183.85 SQ.M. [1,978.33 SQ.FT.]
(GRD + 2ND FL EXCL. GARAGE & PORCH)	
BASEMENT AREA (UNFINISHED)	= 70.90 SQ.M. [762.99 SQ.FT.]
PROPOSED	
2ND UNIT AREA FOR BASEMENT FINISH=60.77 SQ.M. (EXCLUDING FURNACE) +	
2ND UNIT AREA FOR GROUND FLOOR = 74.17 SQ.M.	
TOTAL 2ND UNIT AREA= 134.94 SQ.M.	
EX LOT COVERAGE & GROSS FLOOR AREA UNCHANGED	

ARCHITECT CONSULTING ARCHITECTS CERTIFICATE OF PRACTICE # 5166 259 MAIN STREET NORTH SUITE 101, MARKHAM ONTARIO L3R 9V7 TEL: 905-477-2266 FAX: 905-477-2268 WWW.A10ARCHITECTS.COM EMAIL: info@architects.com		ARCHITECT OF ASSOCIATION OF ARCHITECTS SARAHAT S AHMED LICENCE 7987		Project REVISED PERMIT # 2017 O10854 RP, AS BUILT 2ND UNIT DWELLING & PROPOSED BELOW GRADE SIDE ENTRANCE AT 540 MOORE LANDS CRT. MILTON, ONTARIO L7T4B4 Owners: FAHEEM AHMED & SARAHAT FAHEEM	
Sheet title: SITE PLAN		Revisions MS 11-05-2025 Scale: AS NOTED Date: 11-05-2025 Dwg. no. A1.0		Drawn By: MS Checked By: AM	



The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Olivia Hayes

Date: July 31, 2025

File No: A-25-035M

Subject: 804 Trudeau Drive

**Recommendation: THAT the application for minor variance BE APPROVED
SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the unobstructed pedestrian access be provided in accordance with the Site Plan prepared by Caprija Corporation and date stamped by Town Zoning on June 20, 2025, subject to revisions necessary to satisfy condition 2, below.
2. That the owner acknowledges that prior to Building Permit, the Site Plan must be revised to locate hard surfacing a minimum of 0.45 metres from the southern lot line.
3. That prior to Building Permit issuance, the applicant incorporates a sprinkler system, designed by a qualified professional in fire protection systems and in accordance with NFPA 13D standards, within the building permit package for the proposed Additional Residential Unit.
4. That a Building Permit be obtained within two (2) years from the date of the decision.
5. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to:

- Permit an existing chimney to encroach 0.3 metres into the 1.2 metre unobstructed pedestrian access required for an Additional Dwelling Unit, whereas the Zoning By-law does not permit chimney encroachments.

The Subject Property, known municipally as 804 Trudeau Drive, is generally located south of Derry Road and west of James Snow Parkway. The Subject Property is currently occupied by a two-storey detached dwelling. To facilitate the creation of an Additional Dwelling Unit (ADU), the application requests a minor variance to permit an existing chimney to encroach 0.3 metres into the pathway leading to the ADU entrance, as the Zoning By-law requires this access to remain unobstructed.

Official Plan Designation (including any applicable Secondary Plan designations)

Halton Region Official Plan

The Subject Property is located within the Urban Area, per Map 1 - Regional Structure. The Urban Area consists of lands with existing or planned urban services, and is intended to accommodate the Region's residential and employment growth.

Town of Milton Official Plan

The Subject Property is designated Residential Area per Schedule B - Urban Area Land Use Plan. Additionally, the Subject Property falls within the Bristol Survey Secondary Plan, and is designated Residential Area by Schedule C-6-D - Bristol Survey Secondary Plan Land Use Plan.

Lands designated Residential Area are intended to be predominantly used for a mix of low, medium and high-density residential development. Similarly, policy C.6.5.1.1 directs that the residential mix in the Bristol Survey Planning District shall be in accordance with the ultimate housing mix targets for the Urban Area.

Policy 2.7.3.17 permits ADUs within the Urban Area, subject to conformity with the following criteria:

- a) an ARU shall not be located on lands identified as hazard lands or as being within the regulatory flood plain, unless where specifically permitted by the Conservation Authority;
- b) An ARU will be compatible with neighbouring properties and the surrounding neighbourhood by taking into consideration scale and built form;
- c) An ARU must be connected to adequate municipal water and sewage services;
- d) An ARU must have no adverse effect on stormwater management systems;
- e) An ARU must have no adverse effect on site drainage as demonstrated through a grading plan;
- f) Safe access to an ARU must be ensured by meeting fire and emergency service requirements;
- g) Severance of an ARU from the lot shall not be permitted; and
- h) An ARU shall be registered with the Town in accordance with the provisions of the Municipal Act.

It is Staff's opinion that the proposal is in conformity with the Halton Region Official Plan and the Town of Milton Official Plan.

Zoning

The Subject Property is zoned Residential Medium Density 1, Exception 35 (RMD1 *35). The Residential Medium Density 1 Zone permits a variety of low-rise residential uses, ranging from detached to townhouse dwellings, along with home occupations and home daycares. Zoning Exception 35 establishes standards relating to parking dimensions, dwelling separation distance, and the location of air conditioning or heat exchange units.

Variance One: Section 4.10(vi) states that for an ADU, an unobstructed pedestrian access with a minimum width of 1.2 metres and minimum vertical clearance of 2.1 metres shall be provided and maintained from the street line to the exterior entrance to the building, providing the most direct access to an additional dwelling unit. Section 4.10(vii) permits certain encroachments into this 1.2 metre unobstructed pedestrian access, but does not expressly permit chimney encroachments. The applicant is requesting permission for an existing chimney to encroach 0.3 metres into the required pedestrian walkway, leaving a width of 0.91 metres for a portion of the access route.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 16, 2025, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Development Engineering advised that prior to a Building Permit application, the site plan must be revised so that hard surfacing is located a minimum of 0.45 metres from the property line. This is necessary to maintain existing swales. The applicant has been made aware of this requirement and the associated condition of approval.

In addition, Milton Hydro noted the existence of a secondary conduit and cable running underneath the planned walkway. If concrete is used for the walkway, the applicant would be responsible for any excavation required in the event of future maintenance in this area. The applicant has also acknowledged this comment.



Consultation

Development Services Comments

Planning staff have no concerns with the proposed minor variance, and believe it is minor in nature, maintains the intent of both the Official Plan and Zoning By-law, and represents an appropriate and desirable use of the Subject Property. Introducing ADUs is desirable and suitable within the existing urban area, as encouraged by both local and provincial policies. Further, the application conforms to the criteria outlined in policy 2.7.3.17 of the Official Plan regarding the creation of ADUs.

The proposed minor variance would allow a slight encroachment of 0.3 metres into the ADU access route, which otherwise maintains an unobstructed width of 1.2 metres or more. Staff acknowledge that the chimney necessitating this minor variance is an existing condition which extends over a very small portion of the access route, creating a temporary pinch point rather than obstructing the entire pathway.

The purpose of the above-noted zoning provision is to ensure the access route leading to the primary entrance of an ADU is wide enough to support functional usage, and to allow safe access for first responders in case of an emergency. The Zoning By-law does already permit a number of encroachments into the required pedestrian access route; specifically, window wells are permitted to encroach 0.3 metres, equivalent to what is contemplated in this application. Despite the proposed chimney encroachment, the pedestrian access route would maintain a width of 0.91 metres, which staff are satisfied can support daily circulation and provide adequate space for access by first responders.

Respectfully submitted,

Olivia Hayes, B.E.S.
Planner, Development Review

For questions, please contact:

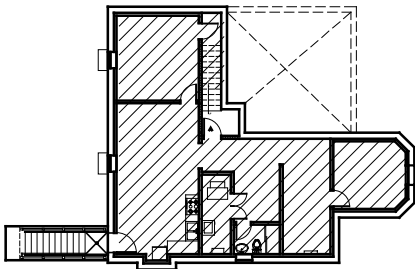
Olivia.Hayes@Milton.ca

Phone: Ext. 2454

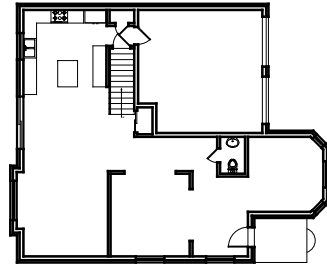
Attachments

Figure 1 - Site Plan

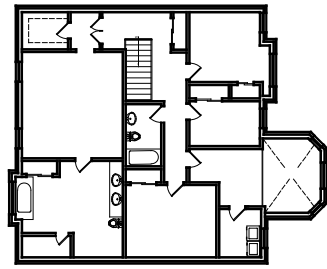
TWO UNIT DWELLING WITH BELOW GRADE ENTRANCE



BASEMENT PLAN
PRINCIPAL UNIT
SECOND UNIT
SHARED AREA

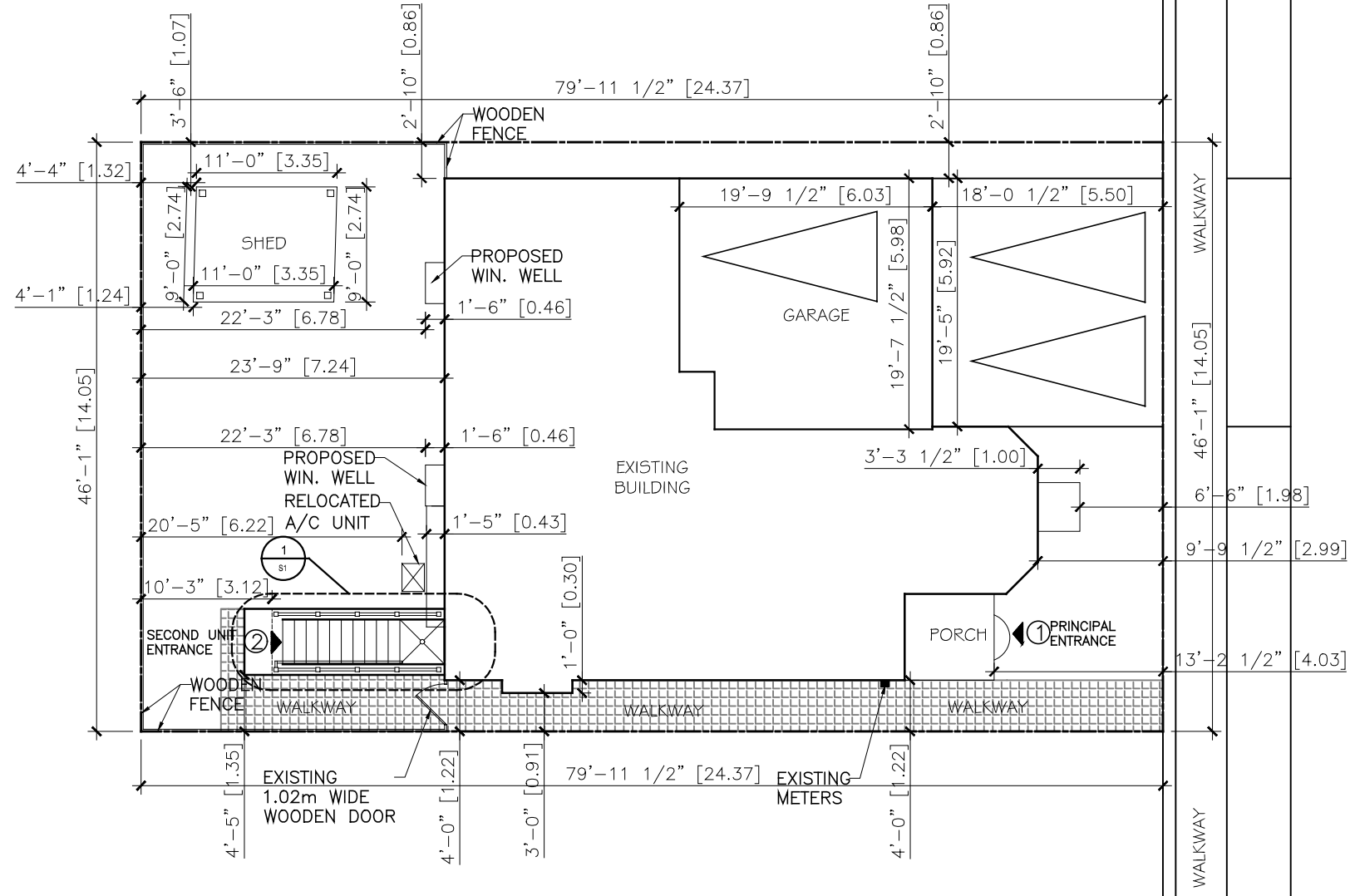


FIRST FLOOR
PRINCIPAL UNIT
SECOND UNIT
SHARED AREA



SECOND FLOOR
PRINCIPAL UNIT
SECOND UNIT
SHARED AREA

Area Statement for Second Unit Approval				
		Sq.ft.	Sq.m.	
Existing Principal Unit Area	A	2872.55	266.87	
Work Area Under This Permit	W	1012.83	94.09	
Bsmt - Second Unit Area	S	974.55	90.54	Inc. Fur.
Shared Area	SH	0.00	0.00	
Bsmt - Principal Unit Area	P	38.28	3.56	Exc. Fur. Rm.
Total Gross Floor Area (A+W)	G	3885.38	360.96	100.0% of G
Total Principal Unit Area (A+P)	R	2910.83	270.42	74.92% of G
Second Unit Area	S	974.55	90.54	25.08% of G
Shared Area	SH	0.00	0.00	0.00% of G
No. of Parking Spaces Provided		3		



TRUDEAU DR

TRUDEAU DR

TOWN OF MILTON
DEVELOPMENT SERVICES
RMD1*35 ZONE
ZONING: REVIEWED FOR C of A
yaseen.albarim JUN 20, 2025
ZONING OFFICER DATE

1 SITE PLAN
SCALE: 1:150

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DRAWINGS NOT TO BE SCALED AND REPRODUCED.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

THESE DRAWINGS ARE PREPARED ONLY FOR MENTIONED BELOW APPROVAL, NOT TO BE USED FOR ANY OTHER PURPOSE AND CONSTRUCTION

1	ISSUED FOR BUILDING PERMIT	MAY. 2025
No.	ISSUED	DATE

STRUCTURAL/MEP ENGINEER:

ARCHITECT **MAZHAR RAJA**

CAPRIJA CORPORATION
Architectural, Engineering and
Project Management Consultants
8250 LAWSON ROAD, MILTON. L9T 5C6
Tel: 647 693 6108, 647 969 9595
CAPRIJA Email: info@caprija.com; Web: www.caprija.com

CLIENT
804 Trudeau Dr,
Milton, ON L9T 5T7

PROJECT
TWO UNIT DWELLING

DRAWING
SITE PLAN

PROJECT NO
223 006

DRAWN
AJ

PLOTTED DATE
MAY. 29, 2025

SCALE
AS NOTED

CHECKED
MR

ONTARIO ASSOCIATION
OF
ARCHITECTS
MAZHAR IQBAL RAJA
LICENCE
7621

DWG. NO. **SP1**



The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: July 31, 2025

File No: A-25-036M

Subject: 955 James Snow Parkway

Recommendation: THAT the application for minor variance **BE APPROVED**
SUBJECT TO THE FOLLOWING CONDITIONS:

1. That the development shall be constructed in accordance with the site plan prepared by Glenn Piotrowski Architect and dated and stamped by Town Zoning on June 17, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to permit:

1. A maximum floor area of 131 square metres for a detached accessory waste structure; and
2. Accessory outdoor storage on the subject property to accommodate the outdoor storage of propane tanks.

The subject property is known as 955 James Snow Parkway which forms part of the James Snow Business Park. The subject application applies to one of the buildings located on the Oxford development, identified as Building E2, which is located in Phase 1 and was Site Plan approved in April 2023. Building E2 is 7,702 square metres and will be used for industrial and warehouse distribution.

The subject application is to obtain relief from the maximum floor area permitted for a detached accessory structure for waste storage as well as allow for outdoor storage to be

General Description of Application

permitted as an accessory use in the existing zone from the Town's Zoning By-law (016-2014), as amended, in order to facilitate the proposed industrial warehouse/distribution building on the property.

Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated as Business Park Area in the Town of Milton's Official Plan and the Derry Green Corporate Business Park Secondary Plan. In the Town's Official Plan and Secondary Plan, the Business Park Area designation is an employment designation which permits the full range of light industrial and office uses, subject to other policies.

It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan.

Zoning

The subject lands are zoned Site Specific Business Park Zone (M1*294) which permits the industrial warehousing/distribution use that is proposed for the subject property.

Variance One: Maximum Floor Area (for an Accessory Waste Storage Building)

Section 4.14.2 iii) Table 4G of the Town's Zoning By-law states that the maximum floor area permitted for a detached accessory waste storage building or structure is 20 square metres. The applicant is requesting to allow for a maximum floor area of 131 square metres for a detached accessory waste storage structure, a difference of + 111 square metres, to facilitate the proposed development.

Variance Two: Outdoor Storage Permission (for Propane Tanks)

Section 4.1 iv) of the Town's Zoning By-law states that unless specifically permitted in the by-law, outdoor storage shall not be permitted as an accessory use in any zone. The applicant is requesting permission to allow accessory outdoor storage on the subject property to accommodate the outdoor storage of propane tanks, to facilitate the proposed development.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 18, 2025, staff have not received any comments from members of the public.



Consultation

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Development Services Comments

The applicant has requested a minor variance in order to facilitate the proposed development of an industrial/distribution building (Building E2) on the subject property.

Variance One: Maximum Floor Area (for an Accessory Waste Storage Building)

The applicant is requesting to allow for a maximum floor area of 131 square metres for a detached accessory waste storage structure, a difference of + 111 square metres, to facilitate the proposed development. Planning staff do not have concerns with the requested increase in the maximum floor area for the waste storage structure as it will not impact the surrounding industrial properties or the function of the Business Park area. Further, the waste storage structure is in the rear of the building site and will be shielded from James Snow Parkway.

Variance Two: Outdoor Storage Permission (for Propane Tanks)

The applicant is requesting permission to allow accessory outdoor storage on the subject property to accommodate the outdoor storage of propane tanks, to facilitate the proposed development. Planning staff do not have concerns with the addition of the outdoor storage of propane tanks as the location is appropriate given, they would provide access to the building and docking area as well as for third party vendors. The propane tanks and its associated storage cage are in the rear of the building site and will be shielded from James Snow Parkway.

Planning staff are of the opinion that the requested variances all positively contribute to the design and overall efficiency of the site's layout and function of the proposed building. Planning Staff are of the opinion that the requested variance is minor in nature, conforms to the general intent of both the Official Plan and Zoning By-law and is desirable for the development and use of the subject property. As such, Planning Staff have reviewed the requested variance and offer no objection to its approval.

Respectfully submitted,

Taylor Wellings, MSc (PI), MCIP, RPP
Planner, Development Review



The Corporation of the Town of Milton

File #:
A-25-036M
Page 4 of 4

For questions, please contact:

Phone: Ext. 2311

Attachments
Figure 1 - Proposed Site Plan

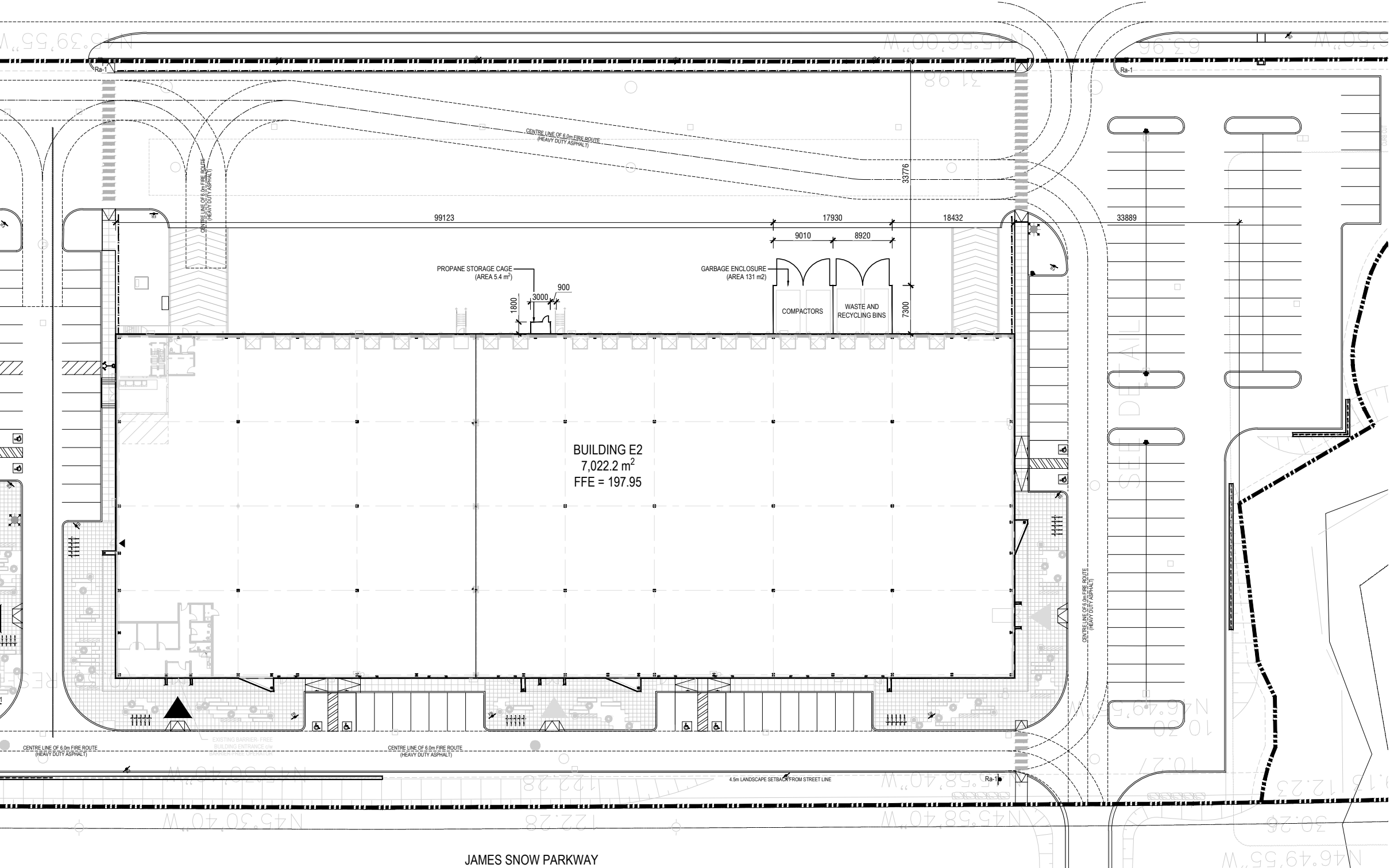
ZONING & OTHER GENERAL INFORMATION			
CURRENT USE -	BUSINESS PARK		
PROPOSED USE -	BUSINESS PARK (M1*xxx3)		
BUILDING SETBACKS ... (TOWN OF MILTON)	- FRONT YARD - SIDE YARD - EXTERIOR SIDE YARD - REAR YARD	9.0m - CLARK BOULEVARD 3.0m - EAST 9.0m - WEST 12m - SOUTH	
OTHER LIMITATIONS..... (TOWN OF MILTON)	- 4.5m LANDSCAPE BUFFER REQUIRED ABUTTING STREET LINE		

OVERALL SITE STATISTICS	IMPERIAL	METRIC
TOTAL PROJECT SITE AREA	10.12 AC	4,094 Ha (40,936 m ²)
LOT COVERAGE		34.31%
SOFT LANDSCAPE AREA		10.8% (4,421m ²)
PARKING, LANES, ACCESS		25.6% (10,480m ²)
WORK YARD, OUTSIDE LOADING AREA		29.3% (11,991m ²)
BUILDING STATISTICS		
EXISTING BUILDING - E2	75,586 s.f.	7,022.2 m ²
PROPOSED GARBAGE ENCLOSURE	1,410s.f.	131.00 m ²
MAXIMUM BUILDING HEIGHT -		13.081mm

OVERALL PARKING STATISTICS		
Industrial Parking Rate: Based on the Town of Milton requirement. Building GFA minus 10%, then 1 space/100 m ² (first 5,000 m ² , plus 1 spaces per 200 m ² thereafter. Standard stall size 2750x5800.		
BUILDING - E2	7,022.2 m ²	57 Stalls required 119 Stalls provided
DESIGNATED PARKING REQ'T'S		
Based on number of required parking stalls for 101-200 stalls, 1 accessible parking spaces +3% are required. Type A (3400x5800) and Type B (2750x5800)		
TOTAL DESIGNATED BARRIER FREE STALLS REQUIRED		5 STALLS
TOTAL DESIGNATED BARRIER FREE STALLS PROVIDED		6 STALLS

BICYCLE PARKING REQUIREMENTS			
For commercial, employment and institutional uses minimum number of spaces is 3% of required parking spaces, up to a maximum of 5 spaces.			
BUILDING - E2	Stalls required	4	25 Stalls provided
EV READY PARKING STALLS			
Provide 6% of parking stalls as 'EV' ready			
	Stalls required	7	7 Stalls provided

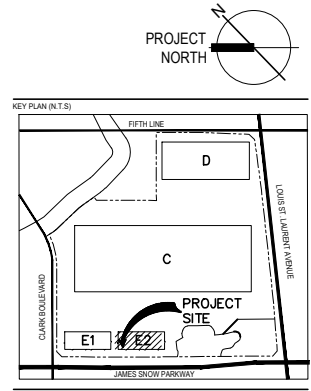
REV	DATE	DESCRIPTION
01	MAY 29, 2025	ISSUED FOR MINOR VARIANCE APPLICATION



TOWN OF MILTON
DEVELOPMENT SERVICES
M1*294 ZONE

ZONING: REVIEWED FOR C of A
robin.campbell
ZONING OFFICER

JUN 17, 2025
DATE



Glenn Piotrowski Architect
ARCHITECTS LTD.
167 NAVY STREET
OAKVILLE, ON
L6J 2Z6
905.338.8855

CLIENT
OXFORD PROPERTIES GROUP

PROJECT
BUILDING E2 - T1

955 JAMES SNOW PARKWAY
MILTON, ONTARIO, CANADA

SHEET TITLE
SITE PLAN - BUILDING E2

DRAWN BY	BKY
DATE	2025-05-27
SCALE	AS SHOWN
PROJECT NO.	2025-05
SHEET NO.	

A100



The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Olivia Hayes

Date: July 31, 2025

File No: A25-037M

Subject: 993 McCutcheon Crescent

**Recommendation: THAT the application for minor variance BE APPROVED
SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed generally in accordance with the site plan prepared by Fadol Designs and dated and stamped by Town Zoning on July 16, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision.
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to:

- Permit accessory buildings and structures to have a total gross floor area of 33.1 square metres, whereas a maximum of 10 square metres is permitted, representing an increase of 23.1 square metres.

The Subject Property, known municipally as 993 McCutcheon Crescent, is situated west of Fourth Line and north of Louis St. Laurent Avenue. Presently, the Subject Property is occupied by a two-storey detached dwelling. The purpose of this application is to facilitate the construction of a new accessory structure in the western side yard, and a gazebo in the rear yard, which would cumulatively exceed the maximum permitted gross floor area for accessory buildings and structures.

Official Plan Designation (including any applicable Secondary Plan designations)

Halton Region Official Plan

The Subject Property is within the Urban Area per Map 1 - Regional Structure. The Urban Area consists of lands with existing or planned urban services, and is intended to accommodate the Region's residential and employment growth.

Town of Milton Official Plan

Official Plan Designation (including any applicable Secondary Plan designations)

The Subject Property is designated Residential Area per Schedule B - Urban Area Land Use Plan. Lands designated Residential Area are intended to primarily accommodate a mix of low, medium and high-density residential development. In addition, the Subject Property is within the Bristol Secondary Plan, and is designated Residential Area per Bristol Secondary Plan Schedule C-6-D. Policy C.6.5.1.1 directs that the residential mix in the Bristol Survey Planning District shall be in accordance with the ultimate housing mix targets for the Urban Area.

It is Staff's opinion that the proposal is in conformity with the Halton Region Official Plan and the Town of Milton Official Plan.

Zoning

The Subject Property is zoned Medium Density Residential I Zone, Exception 35 (RMD1 *35). A variety of low-rise residential uses are permitted within the RMD1 Zone, ranging from detached dwellings to townhouse units. Home occupations and home day cares are also permitted. Exception 35 establishes specific standards for parking dimensions, dwelling separation, and the location of HVAC units applicable to various lands in Phase 1A of the Bristol Survey Secondary Plan.

Variance One: Table 4A of the Zoning By-law permits a maximum gross floor area of 10 square metres for all accessory buildings and structures. The applicant is seeking to permit a maximum gross floor area of 33.1 square metres to accommodate the proposed shed and gazebo, which both qualify as accessory structures.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 21, 2025, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the minor variance application from Town staff or external agencies.

Communication with Applicant

During the pre-submission review, Planning staff identified a stormwater easement extending 1.2 metres from the Subject Property's western lot line. To ensure the proposed shed would not be located over top of this easement, the applicant revised their initial site plan to relocate this accessory structure, and re-designed it as a corner unit. This reconfiguration slightly increased the gross floor area of the proposed shed.



The Corporation of the Town of Milton

File #:
A25-037M
Page 3 of 4

Consultation

Development Services Comments

Planning staff have no concerns with the application, and do not anticipate adverse impacts on adjacent properties. Staff are of the opinion that the application is minor in nature, maintains the intent of the Zoning By-law and Official Plan, and is desirable for the appropriate use of the land.

The intent of the above-noted zoning provision is to ensure that accessory structures are not excessive in size or massing, and remain subordinate to the principal dwelling. As the Subject Property is larger in area than most of the surrounding properties, the proposed accessory structures would not be disproportionate to the size of the lot, and would not represent an overdevelopment of the Subject Property. Both proposed accessory structures would remain clearly subordinate to the principal dwelling in terms of their size, massing, and location on the Subject Property. Moreover, if the proposed gazebo was considered a deck as defined in the Zoning By-law, it would be exempt from the gross floor area calculations for accessory structures and buildings.

Neither accessory structure would be visible from the public realm, and the proposal respects the Zoning By-law's requirements regarding minimum setbacks and maximum height. The Subject Property's unique configuration at the corner of McCutcheon Crescent allows for a generous separation distance between the proposed gazebo and the abutting property to the rear, further mitigating any impacts from the additional gross floor area sought through this application. As such, Planning staff have no concerns with the proposed minor variances.

Respectfully submitted,

Olivia Hayes, B.E.S
Planner, Development Review

For questions, please contact:

Olivia.Hayes@Milton.ca

Phone: Ext. 2454

Attachments

Figure 1 - Site Plan



The Corporation of the Town of Milton

File #:
A25-037M
Page 4 of 4

BCIN Stamp:

SIGNATURE	
The undersigned has reviewed and taken responsibility for this stamp, as well as having the calculations and measurements completed by the undersigned.	
Required when design is stamped with a BCIN stamp.	
NAME: MATTATHY FADOL	DATE: 17/06/2025
REGISTRATION INFORMATION	
Required when design is stamped with a BCIN stamp.	
NAME: FADOL DESIGN	DATE: 17/06/2025

Structural Engineer Stamp:

Coordination Plans Sign-Off:

These coordination plans have been reviewed and approved by the client. No further changes will be made unless required for adjustments related to HVAC, BCIN or Engineer Review. Any additional revisions beyond these specified modifications may result in extra fees and may result in delays on the project timeline.

Samantha Kostas

Project Phase	Date
R1. IFR (Issued for review)	13-06-2025
R2. IFP (Issued for permit)	17-06-2025
R3. IFP (Issued for permit)	02-07-2025

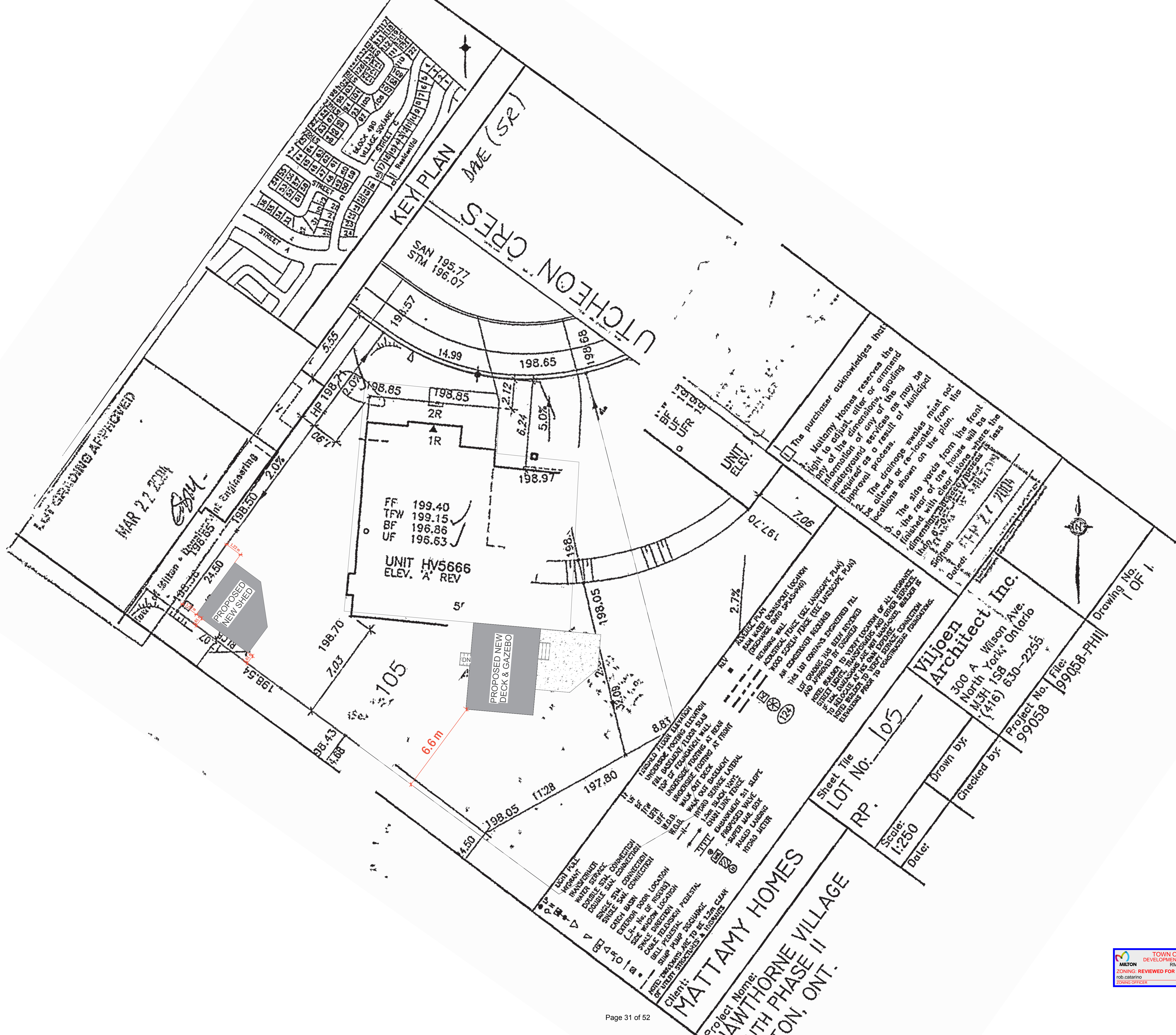
- General Notes:
- The General Contractor must ensure that the client's plans are in compliance with all municipal regulations applicable in the area.
 - The General Contractor must confirm all measurements on site. Site conditions may vary from the drawings.
 - Dimensions provided on the drawings will take precedence - DO NOT SCALE DIMENSIONS FROM THE PLAN.
 - Details and notes shown on this drawing set are typical and shall apply unless otherwise shown or noted on plans. Details on construction plans not fully shown shall be of the same nature as those shown for similar conditions. The contractor is responsible for verifying all dimensions, elevations, property lines and other related items on this job.
 - All construction shall conform to local codes.
 - It is the contractor's responsibility to take the appropriate safety measures when on site.
 - Engineer drawings, notes or comments will take precedence over this drawing set.

Scale 1" = 10'-0"

Site Plan

SP01

No. Designer





The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: July 31, 2025

File No: A-25-038M

Subject: 1496 Buttercup Court

Recommendation: **THAT the application for minor variance BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Sarwat S. Ahmed and stamped by Town Zoning on June 16, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to permit:

- one bay of a double-car garage to have a minimum unobstructed length of 5.0 metres, - 1.0 metres difference in one parking bay

The subject property is known municipally as 1496 Buttercup Court and located north of Britannia Road and west of Savoline Boulevard. The subject property contains a single-detached dwelling with an attached two-car garage. Surrounding uses are residential and primarily single-detached dwellings.

The applicant is proposing to establish an Additional Residential Unit (ARU) in the basement of the existing single-detached dwelling. The ARU will utilize an existing above-grade side entrance in the interior side yard to access to unit and as part establishing this entrance a fire-rated corridor is required in the garage as per the standards of the Ontario Building Code (OBC). Due to the location and encroachment of the fire-rated corridor, the minimum internal dimension requirements for a parking space in one-bay of the garage are not met which has triggered the need for a minor variance.

Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated Residential Area on Schedule B of the Urban Land Use Plan of the Town of Milton Official Plan. The Residential Area designation permits a variety of residential uses, including single detached dwellings and accessory buildings and structures.

Both the Town's Official Plan as well as the Sherwood Survey Secondary Plan provide permissions for Additional Residential Units (ARUs) within the Residential Area designation. Section 2.7.3.17 of the Town's Official Plan provides permissions for Additional Residential Units (ARUs), subject to the following criteria:

- a) An ARU shall not be located on lands identified as hazard lands or as being within the regulatory flood plain, unless where specifically permitted by the Conservation Authority;
- b) An ARU will be compatible with neighbouring properties and the surrounding neighbourhood by taking into consideration scale and built form;
- c) An ARU must be connected to adequate municipal water and sewage services;
- d) An ARU must have no adverse effect on stormwater management systems;
- e) An ARU must have no adverse effect on site drainage as demonstrated through a grading plan;
- f) Safe access to an ARU must be ensured by meeting fire and emergency service requirements;
- g) Severance of an ARU from the lot shall not be permitted; and,
- h) An ARU shall be registered with the Town in accordance with the provisions of the Municipal Act.

Planning staff are satisfied that the proposed development is in conformity with the above-noted criteria. It is Staff's opinion that the proposal is in conformity with the Regional and Town policy.

Zoning

The subject lands are zoned Site Specific Residential Medium Density 1 (RMD1*220) under the Town of Milton Zoning By-law 016-2014, as amended. The RMD1 zone permits a variety of residential uses, including ARUs.

Section 4.2.2.1 v) of the Town's Zoning By-law requires a minimum internal dimension of a double-car garage or larger with two or more separate doors to be 5.5 metres wide by 6.0 metres long by 2.1 metres in height, of which 5.5 metres wide by 5.3 metres long by

Zoning

2.1 metres in height shall be unobstructed area with the exception of one stair. The applicant is requesting permission to allow one-bay of a double-car garage to have a minimum unobstructed length of 5.0 metres, a difference of - 1.0 metres in one parking bay, to facilitate the proposed development.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 18, 2025, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Development Services Comments

The applicant has requested a minor variance to facilitate the construction of an Additional Residential Unit (ARU) within the existing basement of a single-detached dwelling with a two-car garage on the subject property. is required for this component of the proposal. The ARU will utilize an existing above-grade side entrance in the interior side yard to access to unit and as part establishing this entrance a fire-rated corridor is required in the garage as per the standards of the Ontario Building Code (OBC). Due to the location and encroachment of the fire-rated corridor, the minimum internal dimension requirements for a parking space in one-bay of the garage are not met which has triggered the need for a minor variance.

The Town's Zoning By-law specifics what the minimum internal dimensions must be for a double-car garage with two separate doors which includes a fire rated corridor (an Ontario Building Code requirement). The applicant has provided Planning staff with photographs that demonstrate that a car is able to park and fit in the garage adjacent to the fire rated corridor. Since it has been demonstrated that the one-bay of the garage can operate as intended and a vehicle is able to fit properly, Planning staff do not have concerns with the proposed variance. Further, there is no impact to the surrounding properties or to the front façade of the dwelling to establish the ARU.

Planning staff have reviewed the requested variance and offer no objection to its approval. Planning staff are of the opinion that the requested variance is minor in nature, conforms



The Corporation of the Town of Milton

File #:
A-25-038M
Page 4 of 4

Consultation

to the general intent of both the Official Plan and Zoning By-law and is desirable for the development and use of the subject property.

Respectfully submitted,

Taylor Wellings

Taylor Wellings, MSc (PI), MCIP, RPP
Planner, Development Review

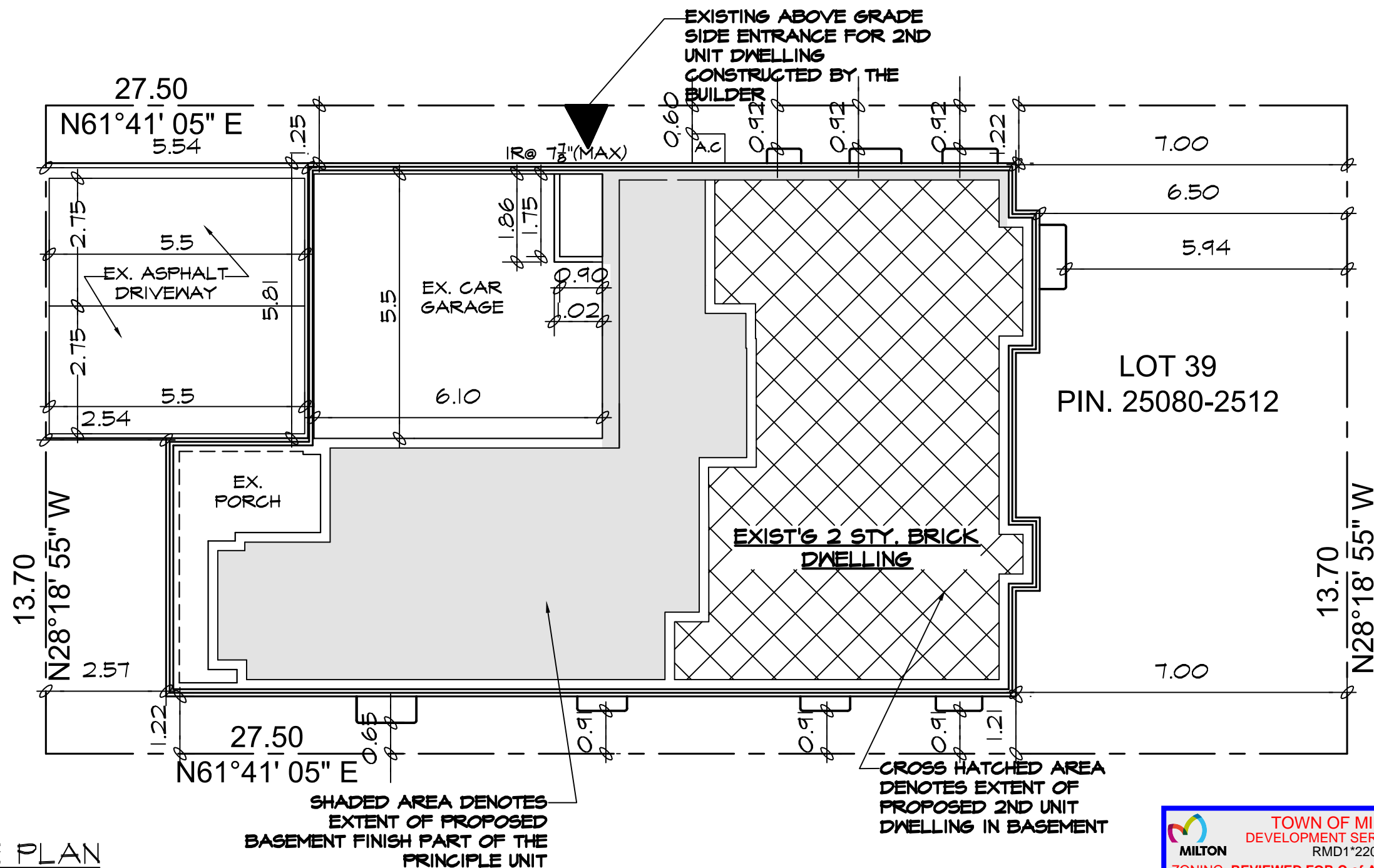
For questions, please contact:

Phone: Ext. 2311

Attachments

Figure 1 - Site Plan

BUTTERCUP COURT



1 SITE PLAN
A1.0 SCALE= 1:100



PROPOSED

TOTAL BASEMENT FINISH AREA=2ND UNIT+
MAIN UNIT =128.37 SQ.M.
(INCLUDING FURNACE)
BASEMENT FINISH AREA FOR PROPOSED 2ND DWELLING= 70.59
SQ.M.
BASEMENT FINISH AREA PART OF PRINCIPLE UNIT= 57.78 SQ.M.
2ND UNIT AREA IS 70.59 SQ.M WHICH IS LESS THAN 85 SQ.M
EX. LOT COVERAGE & GROSS FLOOR AREA UNCHANGED

EXISTING

BUILDING AREA (G.F)
(INCL. GARAGE+FRONT PORCH)
LOT COVERAGE
FLOOR AREA GROUND FLOOR
FLOOR AREA 2ND FLOOR
GROSS FLOOR AREA
(GRD+2ND FL EXCL. GARAGE & PORCH)
BASEMENT AREA (UNFINISHED)
=187.32 SQ.M [2015.65 SQ.FT]
=49.70 %
=148.43 SQ.M [1597.14 SQ.FT]
=182.07 SQ.M. [1959.13 SQ.FT]
=330.5 SQ.M [3556.27 SQ.FT.]
=135.85 SQ.M [1461.79 SQ.FT.]

SITE DATA	M/SM
ZONING	
PLAN NO:	20M-1277
LOT NO:	39
LOT AREA	376.88 SQ.M

ARCHISYSTEM INC.
CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE #5465
279 MAIN STREET NORTH, Brampton, On, L6X1N4
Tel: 905-858-2565 Cell: 647-796-2565
www.thearchisystem.com
e-mail: archisystem@gmail.com



Project
PROPOSED BASEMENT
FINISH FOR SECOND UNIT
DWELLING & BASEMENT
FINISH AT 1496 BUTTERCUP
CRT, MILTON, ON L9E 2G3
Owners
SADAF AGHA

Sheet title:
SITE PLAN

Revisions	Drawn By: MS	Checked By: AM
△	Scale: AS NOTED	Date: 24.05.2025
△		D'wg. no. A1.0
△		REV. NO: -
△		



The Corporation of the Town of Milton

Report To:	Committee of Adjustment and Consent
From:	Olivia Hayes
Date:	July 31, 2025
File No:	A25-039M
Subject:	11733 Fourth Line

Recommendation: **THAT** the application for minor variance **BE APPROVED**
SUBJECT TO THE FOLLOWING CONDITIONS:

1. That prior to Building Permit issuance, the Owner enter into a Letter of Undertaking with the Town of Milton acknowledging that only uses permitted in the A2 Zone are legally permitted.
2. That the development shall be constructed generally in accordance with the site plan prepared by Post Structures and dated and stamped by Town Zoning on June 18, 2025.
3. That a Building Permit be obtained within two (2) years from the date of the decision.
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 144-2003, as amended, has been requested to:

- Permit a gross floor area of 144.9 square metres for an accessory structure, whereas only 93 square metres is permitted, representing an increase of 51.9 square metres
- Permit a maximum building height of 6.04 metres, whereas only 5.5 metres is permitted, representing an increase of 0.54 metres

The Subject Property, known municipally as 11733 Fourth Line, is located south of 20 Side Road and east of Fourth Line in Nassagaweya. Currently, the Subject Property is occupied by a one-storey raised bungalow, with a detached garage and a second accessory structure located in the rear yard. The purpose of the application is to facilitate the construction of a new detached garage, replacing the existing garage and maintaining the same height and gross floor area.



Official Plan Designation (including any applicable Secondary Plan designations)

Greenbelt Plan

The Subject Property falls within the Greenbelt Protected Countryside, and forms part of the Greenbelt Natural Heritage System. The intent of the Greenbelt Natural Heritage System is to conserve Ontario's biodiversity and maintain the Greenbelt's ecological integrity and connectivity. Within the Protected Countryside, all existing uses are permitted.

Halton Region Official Plan

The Subject Property is within the Agricultural Area as well as the Greenbelt Natural Heritage System per Map 1 - Regional Structure. Agricultural Areas are intended to primarily accommodate agricultural operations and supporting uses, while maintaining the open-space character of Halton's non-urbanized areas. The goal of the Greenbelt Natural Heritage System is to increase the certainty that the biological diversity and ecological functions within Halton will be preserved and enhanced for future generations. Subject to other applicable policies, permitted uses in the Agricultural Area include single detached dwellings on existing lots and accessory buildings or structures (100(3); 100(9)).

Commented [OH1]: Check if Milton has a consistent convention for citing policies in staff reports/ CofA reports

Town of Milton Official Plan

The Subject Property is designated Agricultural Area and Greenbelt Natural Heritage System per Schedule A - Rural Land Use Plan. Specifically, the Subject Property falls within Agricultural Areas in the NHS, per Schedule M - Key Features Within the Greenbelt and Natural Heritage System. The entirety of the Subject Property is also a Prime Agricultural Area, per Schedule O - Agricultural System and Prime Agricultural Areas.

The Agricultural Area designation permits single detached dwellings on existing lots and accessory buildings or structures, in addition to a range of other predominantly agricultural uses (4.4.2).

Policy 4.10.1.6(e) requires an Environmental Impact Assessment for development or site alteration within 120 metres of a Key Feature within the Greenbelt Natural Heritage System. The Subject Property is located approximately 240 metres from the nearest Key Feature as identified on Schedule M. As such, planning staff have not directed the applicant to prepare an Environmental Impact Assessment.

It is Staff's opinion that the proposal is in conformity with the Halton Region Official Plan and the Town of Milton Official Plan.



The Corporation of the Town of Milton

File #:
A25-039M
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Zoning

The Subject Property is zoned Rural Zone (A2) per Zoning By-law 144-2003. A variety of agricultural, environmental, and commercial uses are permitted within the Rural Zone.

Variance One: Section 4.1.2.2(ii) establishes that a detached garage in the Rural Zone may have a maximum gross floor area of 93 square metres. The application requests a maximum of 144.9 square metres, representing a difference of 51.9 square metres.

Variance Two: Section 4.1.2.2(ii) states that a detached garage in the Rural Zone may have a maximum height of 5.5 metres. The application requests a maximum height of 6.04 metres, representing a 0.54 metre increase.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on,. As of the writing of this report on, 2024, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Communication with Applicant

Through email correspondence with the applicant, staff confirmed that no tree removal will be necessary to construct the proposed garage, and that this structure will only be for personal use.

Development Services Comments

Planning staff have no concerns with application, and do not anticipate any adverse impacts on adjacent properties as a result of the proposed variances. It is planning staff's opinion that the proposed variances are both minor in nature, maintain the intent of the Official Plan and Zoning By-law, and are desirable for the appropriate use of the land.

The proposed variances would facilitate the replacement of an existing detached garage, with the same footprint, while respecting all setback and lot coverage provisions in the Zoning By-law. Further, the proposed development would improve upon the existing structure by shifting the detached garage farther west, thereby increasing the setback from the eastern lot line and providing greater separation from the abutting property.

The intent of the above-noted zoning provisions is to prevent oversized accessory structures, and to avoid visual impacts of excess height or massing within the Town's rural areas. Given the substantial area of the Subject Property (approximately 2.04 acres), the proposed detached

February 2021



The Corporation of the Town of Milton

File #:
A25-039M
Page 4 of 4

Consultation

garage would remain proportional to the size of the lot, and would not represent overdevelopment. The height increase requested in Variance Two is minor, and any visual impacts can be mitigated by the proposed setbacks and existing vegetation on the Subject Property.

Accessory structures are permitted on the Subject Property by both the Halton Region and Town of Milton Official Plans. While the Subject Property is within the Greenbelt Natural Heritage System, there are no Key Features located on the property or within 120 metres of the proposed development, and staff have confirmed that the proposed development will not require any tree removal.

Respectfully submitted,

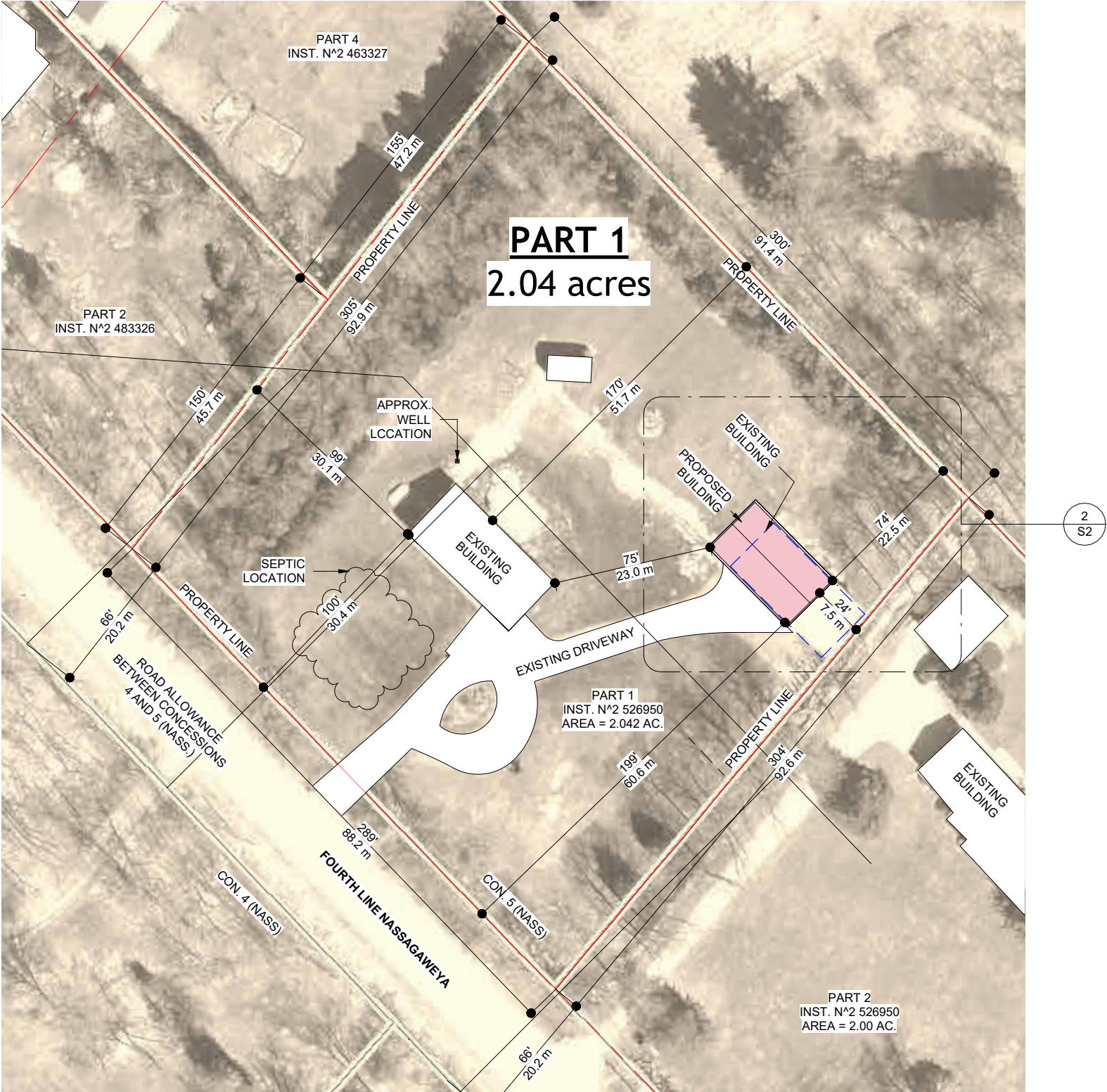
Olivia Hayes, B.E.S.
Planner, Development Review

For questions, please contact: Olivia.Hayes@Milton.ca Phone: Ext. 2454

Attachments

Figure 1 - Site Plan

February 2021



SITEPLAN INFORMATION

PROPOSED BARN

PROJECT ADDRESS

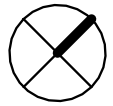
11733 FOURTH LINE NASSAGAWEYA,
MILTON, ON

PROPERTY OWNER

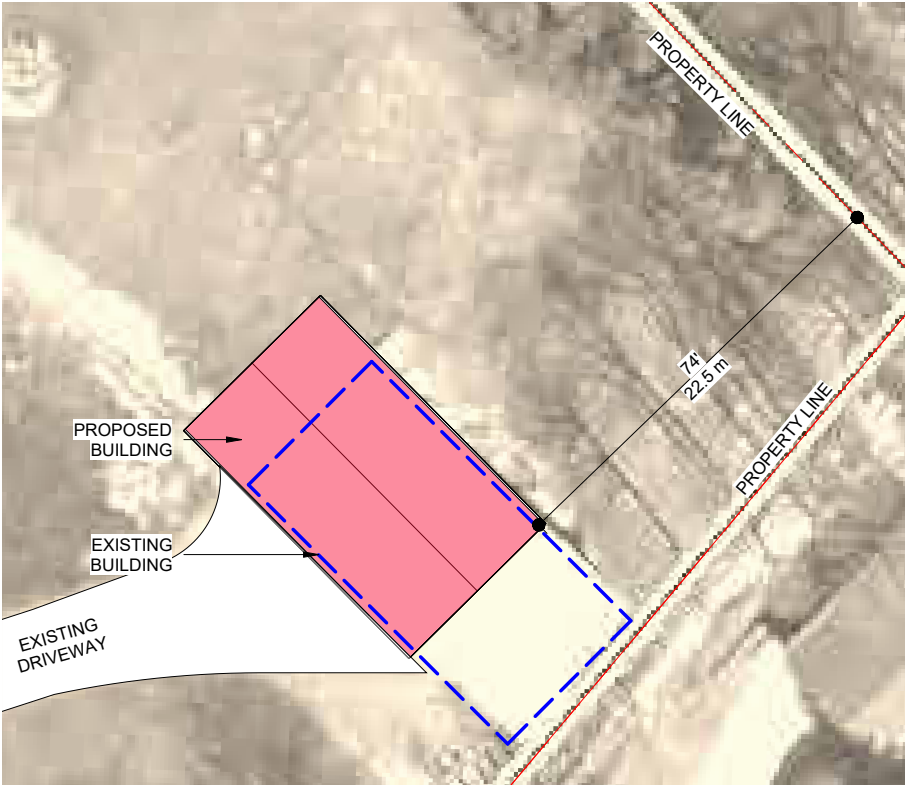
MIKE CLUNE



TRUE NORTH



PROJECT NORTH



2 EXISTING & PROPOSED PROJECT LOCATION
1/32" = 1'-0"

1 SITEPLAN - PART 1
1/64" = 1'-0"



TOWN OF MILTON
DEVELOPMENT SERVICES
A2 ZONE

ZONING: REVIEWED FOR C of A
rob.catarino
ZONING OFFICER

JUN 18, 2025
DATE

VER #	DATE	REVISION	5
1	02-11-2025	PRELIMINARY DESIGN	
2	03-10-2025	DESIGN REVISIONS AS/CLIENT	
3	03-24-2025	REVISIONS FOR PLANNING SUBMISSION	
4	05-06-2025	REVISIONS AS/CLIENT	
5	5-20-2025	REVISED BUILDING HEIGHT AND ROOF PITCH	

CHECK AND VERIFY ALL
DIMENSIONS OR AMBIGUITIES.
ALL WORK MUST COMPLY
TO THE ONTARIO BUILDING CODE
DRAWINGS TO BE USED IN
CONJUNCTION WITH THE SPECS.



POST
STRUCTURES

80 Peel Street East, Alma ON N0B 1A0
P: 519-846-5988 F: 519-846-2225

SITE PLAN

SCALE: As indicated

DRAWN BY: RT

ISSUED FOR: PRELIMINARY REVIEW

PROPOSED BARN

MIKE CLUNE
11733 FOURTH LINE NASSAGAWEYA,
MILTON, ON

i

#

S2



The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Olivia Hayes

Date: July 31, 2025

File No: A25-040M

Subject: 8015 Lawson Road

**Recommendation: THAT the application for minor variance BE APPROVED
SUBJECT TO THE FOLLOWING CONDITION:**

1. That Site Plan Approval be granted within two years from the date of decision.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to:

- Permit a parking area to be set back 1.4 metres from the proposed building, whereas a minimum setback of 2.2 metres is required, representing a decrease of 0.8 metres
- Permit a parking area to be set back 1.17 metres from the northern lot line, whereas a minimum setback of 1.5 metres is required, representing a decrease of 0.33 metres
- Permit a parking area to be set back 0.2 metres from the Street Line (fronting James Snow Parkway) whereas a minimum setback of 4.5 metres is required, representing a decrease of 4.3 metres
- Permit the storage and display of motor vehicles in a tandem manner, allowing parking spaces and display areas without direct access to an aisle

The Subject Property, known municipally as 8015 Lawson Road, is generally situated north of Steeles Avenue East and west of James Snow Parkway. Presently, the Subject Property is occupied by a surface parking lot with vehicular access from Lawson Road. The proposed minor variances would facilitate the development of the Subject Property with a two-storey motor vehicle dealership.

Note that this application is tied to an ongoing Site Plan Application (File no. SP-01-25) and the Site Planner has confirmed that the application has progressed to a stage where it would be appropriate to review the required variances. The Subject Property is also affected by Official Plan Amendment 86 and Zoning By-law Amendment 036-2025, which relate to the amended provincial definition of "Area of Employment" and are not yet in force. By-law 036-2025 would rezone the Subject Property from Employment Zone, Exception 233 (EMP-2 *233) to Employment Office Zone, Exception 233 (C8 *233). As such, this minor variance application seeks to ensure that any

General Description of Application

zoning deficiencies under the Subject Property's current zone, as well as future deficiencies should By-law 036-2025 come into force, are equally addressed to prevent the need for another Minor Variance application in the future.

Official Plan Designation (including any applicable Secondary Plan designations)

Halton Region Official Plan

The Subject Property is within the Urban Area per Map 1 - Regional Structure, and is within the Employment Area overlay per Map 1H - Regional Urban Structure. The Urban Area consists of lands with existing or planned urban services, and is intended to accommodate the Region's residential and employment growth. The Employment Areas overlay is intended to protect lands for a wide range of current and future employment uses, and to limit incompatible uses, thereby supporting the Region's economic competitiveness. The proposed use and development is in conformity with the Halton Region Official Plan.

Town of Milton Official Plan

The Subject Property is designated Industrial Area per Schedule B - Urban Area Land Use Plan, and is further subject to an Employment Area overlay per Schedule 1 - Town Structure Plan. The Subject Property also falls within the Milton 401 Industrial/Business Park Secondary Plan and is designated Industrial Area per Schedule C.2.B - Land Use Plan.

Industrial Areas, one of the Town's Employment designations, are intended to accommodate the full range of light and general industrial uses. Related service, retail, and office uses are equally permitted. Policy C.2.4.5.8 notes that certain key roads, including James Snow Parkway, represent major access routes into the community and abutting development shall ensure a high quality of site design and use. Specifically, policy C.2.4.5.8(b) directs that parking will be at least partially screened by berms and landscaping. Planning staff is of the opinion that the proposed use and development - including circulation and landscaping - is in conformity with the Town of Milton Official Plan and 401 Industrial/Business Park Secondary Plan.

On March 17, 2025, Town Council adopted Official Plan Amendment 86 (OPA 86) to bring Official Plan policies into conformity with the new provincial definition of "Area of Employment." Among other modifications, OPA 86 amends the list of permitted uses in the Industrial designation to align with provincial changes. Note that OPA 86 is not yet in force as it has been appealed to the Ontario Land Tribunal (OLT-25-000332). Although OPA 86 removes commercial use permissions from the Industrial designation, it includes a transition clause permitting non-conforming uses to continue, so long as they were lawfully established prior to October 20, 2024. As detailed below, a motor vehicle dealership use is specifically permitted on the Subject Property by Zoning Exception 233, which was approved in 2016. The aforementioned transition clause therefore applies to the motor

Official Plan Designation (including any applicable Secondary Plan designations)

vehicle dealership use on the Subject Property, allowing it to remain in line with Official Plan policies should OPA 86 come into effect.

Zoning

The Zoning of the Subject Property has also been affected by Provincial changes to the definition of “Area of Employment”. On March 17, 2025, Town Council adopted Zoning By-law Amendment 036-2025 (By-law 036-2025), which will update the Zoning By-law to conform with the provincial modifications. By-law 036-2025 would re-zone the Subject Property from Employment, Exception 233 (EMP-2 *233) to Employment Office, Exception 233 (C8 *233). However, By-law 036-2025 will not come into effect until OPA 86 comes into effect, and thus neither instrument is currently in force. Under By-law 036-2025, the newly created Employment Office zone would permit a range of commercial, industrial, institutional, recreational, and office uses. Note that Exception 233 would continue to apply to the Subject Property, permitting a motor vehicle dealership.

Currently, the Subject Property is zoned Employment, Exception 233 (EMP-2 *233) by Zoning By-law 016-2014. A range of employment, industrial, commercial, and institutional uses are permitted within the Employment Zone. Exception 233 permits a motor vehicle dealership and a motor vehicle rental agency (as an accessory use), and establishes site-specific standards for setbacks and landscaped buffers.

Note that to address the unique situation of the Subject Property, variances One through Three address deficiencies per the in-force Employment Zone (EMP-2 *233), while variances Four and Five address deficiencies that would arise should By-law 035-2025 come into effect (rezoning the Subject Property to C8 *233).

Variance One: Table 5L of the Zoning By-law requires a parking area to be set back a minimum of 2.2 metres from a building. The applicant is requesting a minimum setback of 1.4 metres from the proposed building, representing a decrease of 0.8 metres.

Variance Two: Table 5L of the Zoning By-law requires a parking area to be set back a minimum of 1.5 metres from an interior lot line (note that this only applies to the northern lot line, as Exception 233 allows a 0.0 metre setback from the southern lot line). The applicant is requesting a minimum setback of 1.17 metres from the northern lot line, representing a decrease of 0.33 metres.

Variance Three: Table 5L of the Zoning By-law requires a parking area to be set back a minimum of 4.5 metres from a streetline for Employment Zones. The applicant is requesting a minimum setback of 0.2 metres from James Snow Parkway, representing a decrease of 4.3 metres.

Variance Four: Table 5L of the Zoning By-law requires a parking area to be set back a minimum of 0.9 metres from a streetline for Commercial Zones (which includes the Employment Office

Zoning

Zone). The applicant is requesting a minimum setback of 0.2 metres from James Snow Parkway, representing a decrease of 0.7 metres.

Variance Five: Section 5.15 of the Zoning By-law states that where a permitted use involves the storage and/or display of operational motor vehicles, such as a motor vehicle dealership, such storage and/or display shall be subject to the same provisions that would apply to any parking area required by this by-law. The applicant is requesting permission to allow the storage and display of motor vehicles in a tandem manner, permitting parking spaces and display areas without direct access to an aisle.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 21, 2025, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Development Services Comments

The intent of the above-noted zoning provisions relating to setback distances is to maintain sufficient buffers between parking areas and abutting uses, and to ensure that circulation, safety, and adjacent areas are considered. As the Subject Property is in an industrial context with minimal pedestrian traffic, and given the proposed car dealership use, reduced parking area setbacks are appropriate and maintain the intent of the Zoning By-law.

With respect to Variance One, reducing the setback between a parking area and a building is suitable for the proposed use, as the nature of a car dealership requires substantial parking coverage. Concerning Variance Two, the Subject Property abuts a parking area to the north, so a reduced parking area setback would not cause an adverse impact on the abutting property. The proposed setback of 1.17 metres would provide a sufficient separation distance between the two properties. Regarding Variances Three and Four, the application includes landscaped areas fronting both James Snow Parkway and Lawson Road, demonstrating consistency with the Secondary Plan policies regarding parking areas.

The intent of Section 5.15 of the Zoning By-law is to confirm an appropriate site layout for a motor vehicle dealership, and to ensure proper circulation space is provided. Planning and



The Corporation of the Town of Milton

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A25-040M
Page 5 of 5

Consultation

Transportation staff are satisfied with the vehicular circulation routes provided in the application, and note that the proposed tandem and display parking sections are limited. As the proposal exceeds the minimum parking requirement of the Zoning By-law, a sufficient number of parking spaces with direct access to a driveway are still provided in the proposed Site Plan. Further, the proposed tandem parking spaces will not impact overall access through the Subject Property or disrupt the fire route.

Therefore, Planning staff have no concerns with the application, and do not anticipate any negative impacts from the requested minor variances. The application is minor in nature, appropriate for the development of the Subject Property, and consistent with the intent of the Zoning By-law and Official Plan. As the proposed development is currently in the Site Plan Approval process, planning staff have been working closely with the applicant to review the proposed layout. The requested minor variances are necessary to advance the proposed car dealership, a use appropriate for the Industrial Area designation and complementary to surrounding land uses. Based on the aforementioned, Planning staff offer no objection to the approval of this application, subject to the recommended conditions.

Respectfully submitted,

Olivia Hayes, B.E.S.
Planner, Development Review

For questions, please contact: Olivia.Hayes@Milton.ca

Phone: Ext. 2454

Attachments

Figure 1 - Site Plan

SITE PLAN NOTES

UNDERGROUND SERVICES

ALL UNDERGROUND SERVICES, MATERIALS, AND INSTALLATION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS AND CODES.

GRADING

1. REFER TO SITE GRADING AND SERVICE PLAN DRAWING AS PREPARED BY XXX FOR ALL FINISHED GRADES. TOP OF FINISHED CURB / PAVEMENT ELEVATIONS, FINISHED FLOOR LEVELS OF BUILDING, CURBS / CURB DEPRESSIONS, ETC. 2. GRADES WILL BE MET WITHIN 3% MAXIMUM SLOPE AT THE PROPERTY LINES WITHIN THE SITE.

RETAINING WALLS

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M (2.0 FT) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A THE PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT, AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

BUILDING ACCESS

FLUSH THRESHOLDS FOR ACCESS INTO THE BUILDING BY THE HANDICAPPED WILL BE PROVIDED.

CONCRETE CURBING

CONTINUOUS 150 MM HIGH BARRIER-TYPE POURED CONCRETE CURBING WILL BE PROVIDED BETWEEN ALL ASPHALT AND LANDSCAPED AREAS THROUGHOUT THE SITE UNLESS OTHERWISE NOTED.

PARKING

REQUIRED PARKING STALL AND TRAFFIC AISLE DELINEATIONS SHALL BE 100MM WIDE WHITE OR YELLOW MARKINGS.

SIGNAGE

1. SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF CURRENT TOWN OF MILTON SIGN BY-LAW, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION. 2. PARKING STALLS RESERVED FOR DISABLED PERSONS SHALL BE IDENTIFIED BY A SIGN WITH A METAL POST AND A HANDICAP SYMBOL. SIGN IN ACCORDANCE WITH REGULATION 486, HTA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS OF SIGNAGE.

FENCING

ALL FENCING LOCATED ADJACENT TO MUNICIPAL LAND IS TO BE LOCATED 150 MM INSIDE THE PROPERTY LINE.

ELECTRICAL

ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND SHALL NOT INFRINGE UPON THE ADJACENT PROPERTIES. REFER TO ELECTRICAL DRAWINGS AS PREPARED BY XXX.

FIRE DEPARTMENT

1. THE FIRE DEPARTMENT ACCESS ROUTE SHALL BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11363 KG PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M. 2. FIRE ROUTE TO BE DESIGNATED AS PER CURRENT TOWN OF MILTON BY-LAW AS AMENDED.

TRANSPORTATION & WORKS DEPARTMENT

1. AT THE ENTRANCES TO THE SITE THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE PROPOSED DRIVEWAYS AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE. 2. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB. 3. ALL SURFACE DRAINAGE IS TO BE SELF-CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. 4. THE PORTIONS OF THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD ARE TO BE PAVED BY THE APPLICANT. 5. SATISFACTORY ARRANGEMENTS ARE TO BE MADE WITH THE TRANSPORTATION AND WORKS DEPARTMENT FOR THE ERECTION AND MAINTENANCE OF HOARDING ADJACENT TO ALL EXISTING PROPERTIES THROUGHOUT ALL PHASES OF CONSTRUCTION. 6. THE MUNICIPAL SIDEWALK THROUGH ALL DRIVEWAY ACCESS ON STEELES AND FUTURE JAMES SNOW PARKWAY TO BE 200MM THICKNESS. 7. PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE, SNOW FENCE TO BE INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT ALL LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING. THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER OF DEVELOPMENT ENGINEERING. 8. SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS AND TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION. 9. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICES DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSES OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT) AND SERVICING EXCAVATIONS WITHIN THE MUNICIPAL ROAD ALLOWANCE (ROAD OCCUPANCY PERMIT).

GENERAL NOTES

SURVEY AND TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEYOR'S TOPOGRAPHICAL DRAWING REFERENCE NO. XXX DATED XXX AND REGISTERED PLAN XXX DRAWING REFERENCE NO. XXX PLAN UPDATED AS PREPARED BY XXX LIMITED ONTARIO LAND SURVEYORS

ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO THE TOWN OF MILTON BENCH MARK # 92-012 BEING A BRASS PLAQUE IN A CONCRETE CYLINDER, FLUSH WITH GROUND LEVEL 22 METRES SOUTHWEST OF THE CENTRELINE OF LAWSON ROAD, 8 METRES NORTHEAST OF A CONCRETE CULVERT UNDER LAWSON ROAD ON THE NORTHEAST EDGE OF A GRAVEL DRIVEWAY SERVICING A DETENTION POND HAVING AN ELEVATION OF 213.115 METRES.

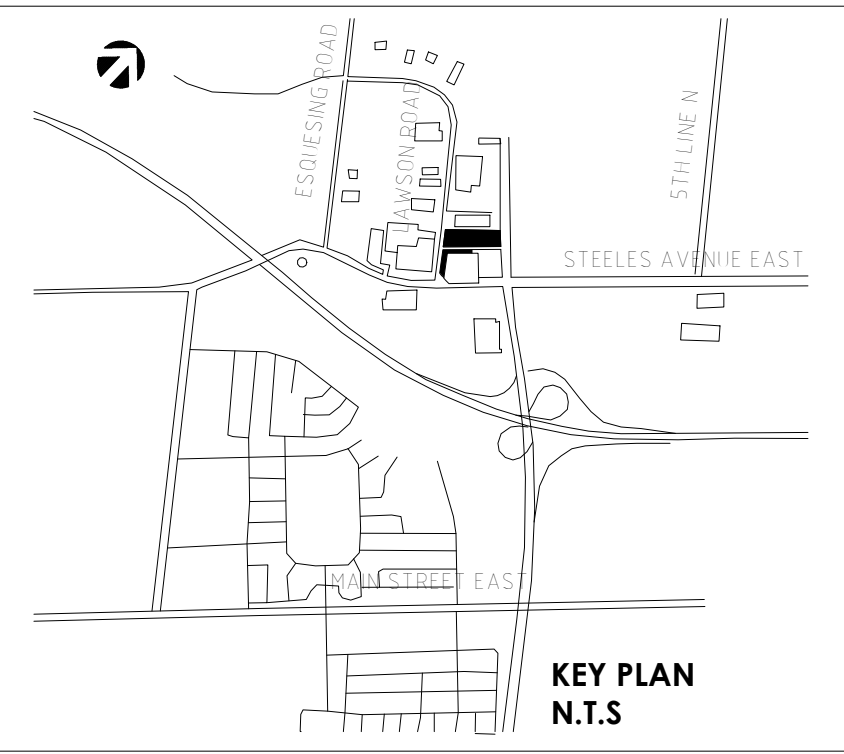
ALL UNDERGROUND UTILITIES SHOWN ON SURVEY DRAWING HAVE BEEN PLOTTED FROM INFORMATION TAKEN FROM AS BUILT DRAWINGS PREPARED BY XXX AND INFORMATION SUPPLIED BY XXX LOCATES BY THE APPROPRIATE UTILITY COMPANY SHOULD BE DONE PRIOR TO CONSTRUCTION OF ANY SORT.

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

FOR ALL LANDSCAPE DETAILS REFER TO LANDSCAPE DRAWINGS AS PREPARED BY XXX.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPING / SOD WORK AND ASPHALT PAVEMENT BEYOND PROPERTY LINES TO STREET CURBS AND/ OR CURBS.

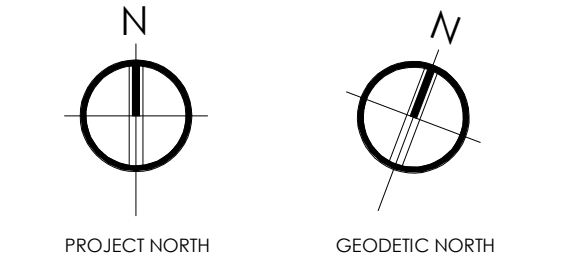
GENERAL CONTRACTOR TO LAY OUT STRUCTURE WITH ALL SETBACKS FROM PROPERTY LINES AND EASEMENTS & REPORT ANY DISCREPANCIES TO THE ARCHITECTS PRIOR TO ANY EXCAVATION WORK - ALL DIMENSIONS AND ASTRONOMIC BEARINGS SHALL BE CHECKED & VERIFIED BY A CERTIFIED O.L.S.



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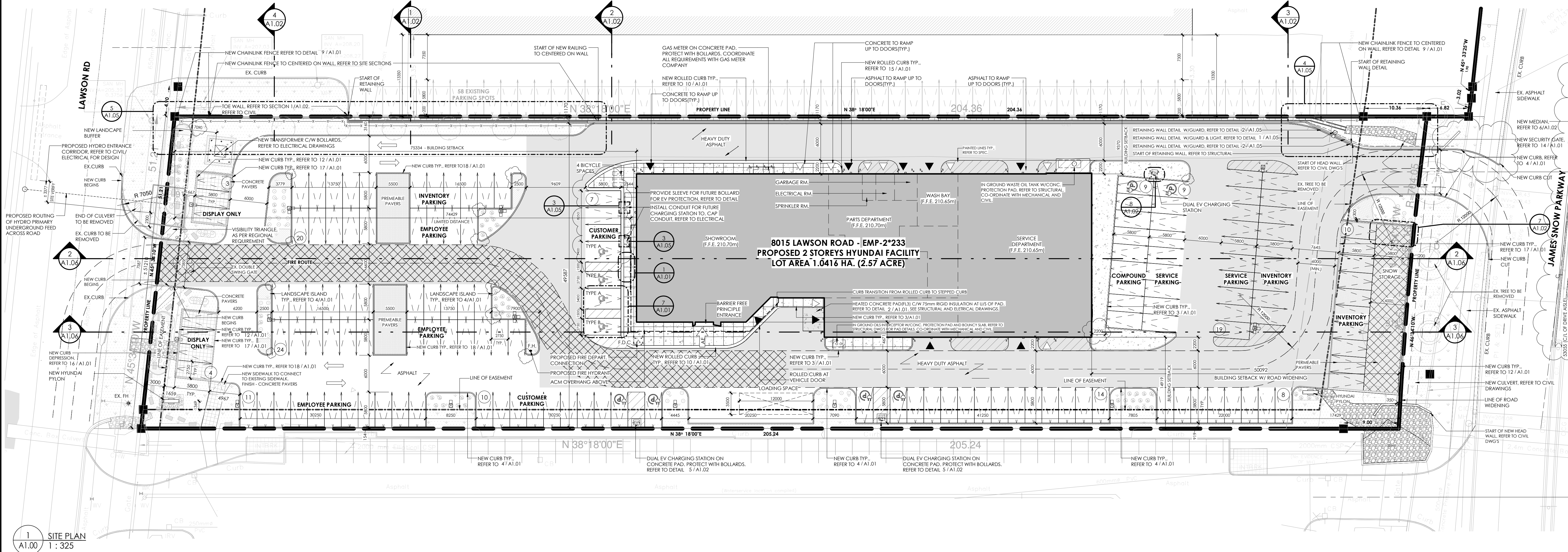
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DO NOT SCALE DRAWING. CONTRACTOR TO CHECK AND VERIFY DIMENSIONS ON SITE PRIOR TO EXECUTION OF THE WORK.



OWNER INFORMATION

NAME: AGCG Holdings Inc.
ADDRESS: 1245 Steeles Avenue E
MILTON, ON L9T 0K2
PHONE No: 000.000.0000



1 SITE PLAN
A1.00 1 : 325

SITE PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
o B	BOLLARD	XX	PARKING COUNT
• B.L	BOLLARD LIGHT		CONCRETE SURFACE
■ CB	CATCH BASIN		CONCRETE PAD WITH RADIANT HEATING
EV	ELECTRIC VEHICLE CHARGING STATION		CONCRETE PAD WITH RADIANT HEATING
• F.H	FIRE HYDRANT		MEDIUM DUTY ASPHALT
• F.D.C	FIRE DEPARTMENT CONNECTION		HEAVY DUTY ASPHALT
• H.P	HYDRO POLE		SOD
□ L.S	LIGHT STANDARD		PAINTED LINES
○ M.H	MAN HOLE		PRECAST CONCRETE PAVERS; REFER TO LANDSCAPE DRAWING
➔	MAIN BUILDING ENTRANCE		CONCRETE PAVERS; REFER TO LANDSCAPE DRAWING
△	MAN DOOR	—X—X—X—	FENCE
◀	VEHICLE DOOR	EV	EV CHARGING STATION
◀	VEHICLE/MAN DOOR		
◀	ACCESSIBLE ENTRANCE		
○ F.S	FIRE ROUTE SIGN		

SITE STATISTICS

MUNICIPAL ADDRESS: 8015 LAWSON ROAD, MILTON, ONTARIO

ZONING: EMP 2*233

LOT AREA: SUBJECT LOT - EXISTING 1,0416 HA(2.57 ACRE)

LEGAL DESCRIPTION: PART OF LOT 13, REGISTERED PLAN 20M-451 SURVEY INFORMATION: CUNNINGHAM MCCONNELL LIMITED DATED: PRELIMINARY 21 OCTOBER 2019 REF NO. REFERENCE PLAN 20R-20357, GEOGRAPHIC TOWNSHIP OF TRAFALGAR, TOWN OF MILTON

LOT COVERAGE (MAXIMUM BY-LAW No. 016-2014 - TABLE 8B):
- WITH MUNICIPAL SERVICING: NO MAXIMUM
- WITHOUT MUNICIPAL SERVICING: 35%

BUILDING AREA: 1,854.42 m²

PROPOSED LOT COVERAGE 1,854.42 m² + 10408.61 m² = 17.34%

PROPOSED LOT COVERAGE WITH ROAD WIDENING 1,854.42 m² + 10408.61 m² = 17.82%

NUMBER OF STOREYS: 2

GROSS FLOOR AREA: GROUND FLOOR: 1,854.42 m²
2nd FLOOR - OFFICES 441.94 m²
TOTAL GFA: 2,296.36 m²

FLOOR AREA RATIO 2,296.36 m² ÷ 10693.68 m² = 21.47%

FLOOR AREA RATIO WITH ROAD WIDENING 2,296.36 m² ÷ 10408.61 m² = 22.04%

BUILDING SETBACKS (BY-LAW No. 016-2014 - TABLE 51):
SOUTH (SIDE) YARD: 6.0 m
NORTH (SIDE) YARD: 6.0 m
WEST (FRONT) YARD: 5.0 m
EAST (REAR) YARD: 5.0 m

BUILDING HEIGHT (BY-LAW No. 016-2014 - TABLE 8B):
ALLOWABLE MAXIMUM PROPOSED BUILDING HEIGHT 15.00 m

LANDSCAPE BUFFER (BY-LAW No. 065-2016 / BY-LAW No. 016-2014 - TABLE 8B):
SOUTH (SIDE) YARD: 0.0 m
NORTH (SIDE) YARD: 0.0 m
WEST (FRONT) YARD: 3.0 m
EAST (REAR) YARD: 3.0 m

LANDSCAPED OPEN SPACE (BY-LAW No. 016-2014 - TABLE 8B):
SITE AREA: 8,554.19 m²
REQUIRED MIN: 15.00% (1,283.12m²)
PROPOSED: 17.36% (1,485.33m²)

PARKING SETBACKS (BY-LAW No. 065-2016 / BY-LAW No. 016-2014 - TABLE 51):
SOUTH (SIDE) YARD: 0.0 m
NORTH (SIDE) YARD: 1.5 m
WEST (FRONT) YARD: 3.0 m
EAST (REAR) YARD: 4.5 m

PARKING REQUIRED (BY-LAW No. 016-2014 - TABLE 5G/SH):
OFFICE/SALES AREA: 1,245.90 m²
MINUS 10% AS PER 5.2: 1,245.90 m² - (1,245.90 x 0.10) = 1,121.31 m²
1 PARKING SPACE PER 30m²: 1,121.31m² / 30m² = 38 PARKING SPACES
SERVICE AREA: 13 BAYS
3 PARKING SPACES PER SERVICE BAY: 13 x 3 = 39 PARKING SPACES
TOTAL REQUIRED PARKING SPACES: 77 PARKING SPACES

NUMBER OF ACCESSIBLE PARKING REQUIRED:
4% x 77 = 4 BF PARKING SPACES = 2 TYPE A & 2 TYPE B

BICYCLE PARKING REQUIRED (BY-LAW No. 016-2014 - TABLE 51):
3% OF REQUIRED PARKING SPACES = .03 x 77 = 3 PARKING SPACES
PROPOSED PARKING SPACES: 4 PARKING SPACES
(SEE LANDSCAPE DRAWINGS FOR DETAILS)

PARKING PROVIDED:
REGULAR SPACES: 135 PARKING SPACES
(NOT INCLUDING 10 DISPLAY TANDEM PARKING SPACES & 9 COMPOUND PARKING SPACES)

B.F. SPACES: 4 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 139 PARKING SPACES

LOADING SPACES (BY-LAW No. 016-2014 - TABLE 5J):
REQUIRED: 1
PROPOSED: 1

RH CARTER ARCHITECTS
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MILTON HYUNDAI

8015 LAWSON RD, MILTON, ON

SITE PLAN

PROJECT No 2021.019
SCALE As indicated
DATE Issue Date
DRAWING No A1.00
SITE PLAN APPLICATION No 0000000000



The Corporation of the Town of Milton

Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: July 31, 2025

File No: A-25-041M

Subject: 108 Bowes Street

Recommendation: **THAT the application for minor variance BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the survey and site plan prepared by Cunningham McConnell Ltd. and stamped by Town Zoning on June 24, 2025.
2. The Town will require a Stormwater Management Brief to be submitted as part of the Building Permit process and to the satisfaction of Town Development Engineering.
3. That a Building Permit be obtained within two (2) years from the date of the decision; and
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to permit:

- a maximum lot coverage of 32.3%, a difference of + 7.3%

The subject property is known municipally as 108 Bowes Street and located on Bowes Street and John Street. The subject property contains a single-detached dwelling with a detached one-car garage. Surrounding uses are residential and primarily single-detached dwellings.

The applicant is proposing to demolish the existing dwelling and detached garage for the purposes of a new residential rebuild. As part of this proposed development, the applicant is requesting relief from the Town's Zoning By-law to allow for an increase in the maximum

General Description of Application

lot coverage. Another component of this proposed development includes relocating the driveway.

Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated as Residential Area on Schedule B of the Urban Land Use Plan of the Town of Milton Official Plan. The Residential Area designation permits a variety of residential uses such as single-detached dwellings.

The property is also located within a Mature Neighbourhood Area on Schedule F of the Town of Milton Zoning By-law 016-2014. On October 19th, 2020, Milton Council passed Official Plan Amendment No. 60 and an accompanying Zoning By-law Amendment for the Downtown Character Area in accordance with the Mature Neighbourhoods Character Study. The Official Plan Amendment updated the Town's policies to better manage development in Mature Neighbourhood and Character Areas, and the Zoning By-law Amendment introduced new standards that apply to low-density residential development in the Downtown Character Area.

It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan. The proposed increase in lot coverage is fitting with the surrounding neighbourhood and Mature Neighbourhood area.

Zoning

The subject lands are zoned Site Specific Residential Low Density One (RLD1*279) under the Town of Milton Zoning By-law 016-2014, as amended. The RLD1 zone permits a variety of residential uses, including detached dwellings as well as accessory buildings and structures.

Section 6.2 Table 6B of the Town's Zoning By-law states that the maximum lot coverage is 25% for lots with a total area of 660-830 square metres. The applicant has requested to allow for a lot coverage of 33%, a difference of +7.3, to facilitate the proposed development.

Consultation

Public Consultation

Consultation

Notice for the hearing was provided pursuant to the Planning Act on July 14, 2025. As of the writing of this report on July 18, 2025, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Transportation Staff did confirm there are no concerns with the relocation of the driveway and access.

Development Engineering Staff have no objection to the approval of the above-noted application but will require a Stormwater Management Brief as part of the development approval. This requirement has been included above as a condition of development approval.

Development Services Comments

The applicant has requested a minor variance to facilitate the construction of a proposed residential dwelling with an associated breezeway and attached garage. The proposal also includes a small covered patio and covered porch as part of the front façade. The subject property currently contains a residential dwelling and detached garage which will be demolished. It should also be noted that the driveway will be relocated to allow for an access off John Street.

The applicant has requested to allow for a lot coverage of 32.3%, a difference of +7.3, to facilitate the proposed development. Planning staff do not anticipate that the increase in the requested lot coverage will have a negative impact on the surrounding property owners as all other zoning provisions such as setbacks and height are met. Planning staff acknowledge that a number of components of the proposed development such as the covered patio, porch and breezeway contribute to the lot coverage request. These design elements are appropriate for the surrounding residential area. The proposed dwelling and living space are in keeping with the dwellings in proximity and would not be considered overdevelopment of the property.

Planning staff have reviewed the requested variance and offer no objection to its approval. Planning staff are of the opinion that the requested variance is minor in nature, conforms to the general intent of both the Official Plan and Zoning By-law and is desirable for the development and use of the subject property.



The Corporation of the Town of Milton

File #:
A-25-041M
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Respectfully submitted,

Taylor Wellings

Taylor Wellings, MSc (PI), MCIP, RPP
Planner, Development Review

For questions, please contact:

Phone: Ext. 2311

Attachments
Figure 1 - Site Plan

