



The Corporation of the  
Town of Milton  
Committee of Adjustment and Consent

Thursday, April 24, 2025, 6:00 p.m.  
Council Chambers - In Person

The Town of Milton is resuming the Committee of Adjustment and Consent (COA) meetings in person as of January 26, 2023. Applicants and interested parties can participate in person at Town Hall, Council Chambers, 150 Mary Street.

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	Pages
1. AGENDA ANNOUNCEMENTS / AMENDMENTS	
2. DISCLOSURE OF PECUNIARY INTEREST	
3. MINUTES	
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4. HOUSEKEEPING	
5. ITEMS FOR CONSIDERATION	
5.1 A25-008/M 1145 Raspberry Terrace	6
The applicant is requesting relief from the Town's Zoning By-law to allow for an increase in gross floor area for an accessory structure (cabana/shed) which will be located in the rear yard of the subject property.	
5.2 A24-009/M 5195 25 Side Road	10
The applicant has applied for Site Plan Approval (Town File SP-20/24) to facilitate the development of a Veterinary Hospital – Large Animal. Prior to receiving Site Plan Approval, zoning compliance must be achieved. Therefore, the applicant is seeking a minor variance to accommodate a reduced parking supply.	
5.3 A25-010/M 234 Bell Street	14
The applicant intends to demolish the existing single-storey dwelling and replace it with a two-storey dwelling with an attached garage	
5.4 A25-011/M 14193 Fourth Line Nassagaweya	20
The applicant is proposing to demolish the existing dwelling and garage and construct a new single-detached dwelling and associated detached garage in the same location.	



- 5.5     A25-012/M 144 King Street 25  
The applicant is requesting relief from the Town's Zoning By-law to allow for the proposed single-detached dwelling to have special permissions for lot coverage as well as a setback from the building front wall.
- 5.6     A25-013-020/M Richardson Way 30  
The applicant proposes to construct single-detached dwellings on each of the identified lots. The applicant has requested a minor variance to allow for an increase in the maximum encroachment into the rear yard.
- 5.7     A25-021/M 2310 Mohawk Trail 34  
The applicant is proposing to construct a second detached garage which will be two storeys. The applicant is requesting relief from the Town's Zoning By-law to allow for the additional detached garage and to seek special permissions for its proposed height as well as location on the subject property.

**6.     NEXT MEETING**

Thursday, May 29, 2025 commencing at 6:00 p.m.

**7.     ADJOURNMENT**





The Corporation of the  
Town of Milton  
Committee of Adjustment Minutes

March 27, 2025, 6:00 p.m.

The Committee of Adjustment for the Corporation of the Town of Milton met in regular session in person.

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1. **AGENDA ANNOUNCEMENTS / AMENDMENTS**

2. **DISCLOSURE OF PECUNIARY INTEREST**

3. **HOUSEKEEPING**

4. **MINUTES**

4.1 **Minutes from Committee of Adjustment February 27, 2025**

**THAT** the minutes from the February 27, 2025 Committee of Adjustment be **APPROVED**

**Carried**

5. **ITEMS FOR CONSIDERATION**

5.1 **A25-005/M 10 Bronte Street South**

**THAT** the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Green Propeller Design and stamped by Town Zoning on February 12, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and



3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

## **5.2 A25-006/M 104 Barton Street**

**THAT** the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Jansen Consulting and stamped by Town Zoning on February 7, 2025.
2. That a Stormwater Management Brief and Detailed Site Grading & Servicing Plan be provided to Town Engineering Staff for their review and approval, prior to the issuance of a Building Permit.
3. That a Building Permit be obtained within two (2) years from the date of the decision; and
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

**Carried**

## **5.3 A25-007/M 4151 Ennisclare Drive**

**THAT** the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Jansen Consulting and stamped by Town Zoning on March 3, 2025;
2. That the Arborist Report and Tree Planting Plan be executed by the homeowner during and after construction of the proposed development;
3. That a Building Permit be obtained within two (2) years from the date of the decision; and
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed



development does not proceed and/or a building permit is not secured.

**Carried**

6. **NEXT MEETING**

April 24, 2025 at 6:00 PM

7. **ADJOURNMENT**

With there being no further business to discuss, the Chair adjourned the Hearing at 6:56 PM

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Scott Corbett, Secretary Treasurer





# The Corporation of the Town of Milton

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Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: April 24, 2025

File No: A-25-008M

Subject: 1145 Raspberry Terrace

**Recommendation:** **THAT the application for minor variance BE APPROVED  
SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Riveira Landscape Design & Consulting and stamped by Town Zoning on March 6, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

## General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to permit:

- Requesting permission to allow for a total gross floor area of 35.7 square metres, + 25.7 square metres,

The subject property is known municipally as 1145 Raspberry Terrace and located on the south side of Raspberry Terrace and west of Hamman Way. The subject property contains a single-detached dwelling with an attached two-car garage. Surrounding uses are residential and primarily single-detached dwellings.

The applicant is requesting relief from the Town's Zoning By-law to allow for an increase in gross floor area for an accessory structure (cabana/shed) which will be located in the rear yard of the subject property. The subject property will also contain an in-ground swimming pool which is subject to a pool enclosure permit.



## Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated Residential Area. The property is further designated Residential Area on Schedule C.10.C Land Use Plan of the Boyne Survey Secondary Plan Area. The Residential Area designation permits a variety of residential uses, including single detached dwellings and accessory buildings and structures.

It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan.

## Zoning

The subject lands are zoned Site Specific Residential Medium Density 1 (RMD1\*220) under the Town of Milton Zoning By-law 016-2014, as amended. The RMD1 zone permits a variety of residential uses, including detached dwellings as well as accessory buildings and structures.

Section 4.2.1, Table 4 A of the Town's Zoning By-law states that the maximum permitted gross floor area for accessory buildings is 10 square metres. The applicant has requested to allow for 35.7 square metres, a difference of + 25.7 square metres, to facilitate the proposed development.

## Consultation

### *Public Consultation*

Notice for the hearing was provided pursuant to the Planning Act on April 8, 2025. As of the writing of this report on April 16, 2025, staff have not received any comments from members of the public.

### *Agency Consultation*

No objections were filed with respect to the variance application from Town staff or external agencies.

## Development Services Comments

The applicant has requested a minor variance to facilitate the construction of an accessory structure (cabana/shed) in the rear yard of the subject property. The proposed structure will serve as a covered area for privacy and shade during the summer months as well as storage for pool equipment. The proposed in-ground swimming pool has received the required pool enclosure permit from the Town and is not part of the minor variance application.

In consideration of the proposed increase in gross floor area, the applicant is proposing to construct an 35.7 square metre accessory structure, whereas a 10 square metre accessory structure is permitted. Planning staff do not anticipate that the increase in size will cause a negative impact on surrounding property owners. The proposed structure, although in excess of them maximum gross floor area, meets all remaining zoning provisions including height and setbacks. The applicant has also proposed tree hedging along the rear and side yards which will assist with shielding the structure. In addition, Development Engineering Staff have reviewed the proposal and have no concerns.

Planning staff have reviewed the requested variance and offer no objection to its approval. Planning staff are of the opinion that the requested variance is minor in nature, conforms to the





# The Corporation of the Town of Milton

File #:  
A-25-008M  
Page 3 of 3

## Consultation

general intent of both the Official Plan and Zoning By-law and is desirable for the development and use of the subject property.

Respectfully submitted,

*Taylor Wellings*

Taylor Wellings, MSc (PI), MCIP, RPP  
Planner, Development Review

For questions, please contact:

Phone: Ext. 2311

## Attachments

Figure 1 - Site Plan





**EXISTING GRADES**

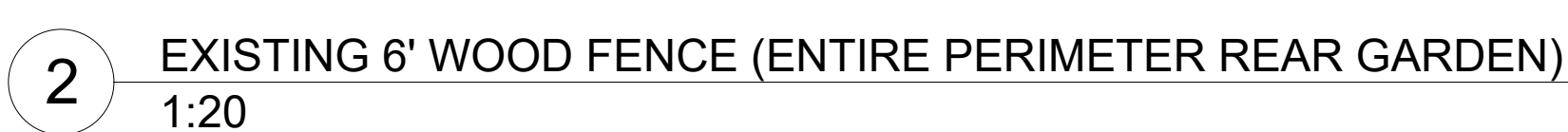
The Contractor shall check all dimensions and report any discrepancies with the Designer prior to commencing work.

#	DATE	ISSUANCE
5	2025/03/06	ISSUED FOR COORDINATION
4	2025/02/26	ISSUED FOR COORDINATION
3	2024/09/24	ISSUED FOR COORDINATION
2	2024/09/20	ISSUED FOR COORDINATION
1	2024/08/23	ISSUED FOR COORDINATION

## REAR GARDEN LANDSCAPE PLAN

**AS NOTED**

# L100







# The Corporation of the Town of Milton

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Report To:	Committee of Adjustment and Consent
From:	Rachel Suffern, MPA, M.Sc. (PI), MCIP, RPP
Date:	April 24, 2025
File No:	A25-009M
Subject:	5195 25 Side Road

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**Recommendation:**     **THAT** the application for minor variance **BE APPROVED**  
**SUBJECT TO THE FOLLOWING CONDITION:**

1. That Site Plan Approval be granted within two (2) years from the date of this decision.

## General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 144-2003, as amended, has been requested to:

- Permit 20 parking spaces for a proposed 2,042 square metre Veterinary Hospital - Large Animal development, where as the Zoning By-law requires 62 spaces (a reduction of 42 spaces).

The subject property is known municipally as 5195 25 Side Road and legally described as Part of Lot 26 on Concession 6 (former Township of Nassagaweya). The lands are generally located west of Sixth Line Nassagaweya on the north side of 25 Side Road. Surrounding land uses include agriculture, rural residential and natural heritage systems. The subject lands currently contain an agricultural storage shed that will be removed prior to construction of this development commencing. The site is dissected by a natural heritage system linkage including woodlands and flood hazards.

The applicant has applied for Site Plan Approval (Town File SP-20/24) to facilitate the development of a Veterinary Hospital – Large Animal. Prior to receiving Site Plan Approval, zoning compliance must be achieved. Therefore, the applicant is seeking a minor variance to accommodate a reduced parking supply.

## Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated as Agricultural with a Greenbelt Natural Heritage System overlay on Schedule 1 - Town Structure Plan within the Town of Milton Official Plan. This designation permits a range of uses including a range of agricultural operations, normal farm practices and agricultural related uses.



## Official Plan Designation (including any applicable Secondary Plan designations)

The rear portion of the subject lands are subject to the Regional Natural Heritage System overlay where the development is not proposed. However, Staff note that Section 4.9.2 of the Official Plan permits a veterinary clinic within the RNHS overlay.

Given the proposed use is consider an agricultural related use and the development is outside of the RNHS, is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan.

## Zoning

The subject lands are zoned Rural (A2) within a portion of the property zoned as Greenlands A (GA) to reflect the floodplain limits. Staff note that the proposed development is entirely within the A2 Zone limits.

The Rural Zoning By-law 144-2003, as amended, permits a range of uses in the A2 Zone including a Veterinary Hospital - Large Animal. In Section 5.13.2 i) Table 5E, parking rates for different types of uses are set out. Given a specific rate is not provided for the proposed use, the general rate of 1 space per 30 square metres of gross floor area is applied to the development.

As such, based on the proposed gross floor area of approximately 2,045 square metres (minus 10%), the site would require 62 spaces, whereas the applicant is proposing 20 spaces (a reduction of 42 spaces).

## Consultation

### *Public Consultation*

Notice for the hearing was provided pursuant to the Planning Act on April 8, 2025. As of the writing of this report on April 17, 2025, staff have not received any comments from members of the public.

### *Agency Consultation*

No objections were filed with respect to the variance application from Town staff or external agencies.

### Transportation Planning

Transportation Planning Staff reviewed the proposal and Transportation Impact Study prepared by Nextrans Consulting, dated December 11, 2024, and are satisfied with the technical justification to support the reduction.

### Grand River Conservation Authority

Through the detailed review of the concurrent site plan application (SP-20/24), Grand River Conservation Authority has expressed no concerns.

## Development Services Comments

The applicant has requested a minor variance to facilitate the development of a Veterinary Hospital - Large Animal. Given the Zoning By-law applied a general parking rate, the applicant retained a Professional Engineer (P. Eng) to produce a Transportation Impact Study (TIS) that would



## Consultation

determine what the appropriate parking supply is for both the use and gross floor area being proposed.

The TIS reviewed the specific operations being proposed and determined that a supply of 20 spaces for the site is sufficient in terms of accommodating the parking needs. The TIS included a review of anticipated trip generation both from a staffing and user perspective. The applicant confirmed that 16 staff members (including four surgeons) are anticipated to work from the site. From a visitor parking perspective, patients are generally dropped off by their owners who only return following the animals' procedures. Therefore, the overall visitor parking demand is generally anticipated to be low. Further, the surgeons may conduct off-site procedures and therefore may not be at the site during all operating hours thereby providing additional parking spaces.

Therefore, based on the technical justification provided and detailed review of the site plan application, Staff are of the opinion that the variances being requested are minor in nature, desirable or the development of the subject lands, maintain the intent of the Zoning By-law and conform to the Official Plan. Planning Staff offer no objection to the approval of this application.

Respectfully submitted,

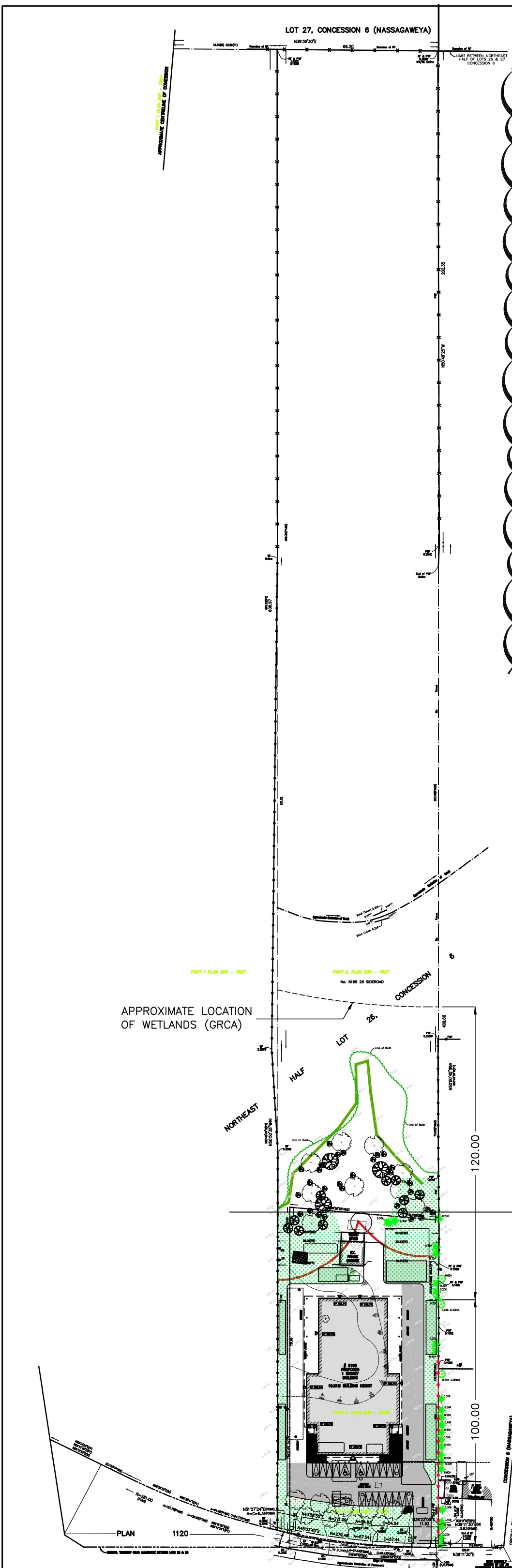
Rachel Suffern, MPA, M.Sc. (PI), MCIP, RPP  
Planner, Development Review

For questions, please contact:

Rachel.Suffern@Milton.ca

Phone: Ext. 2263





1 SITE PLAN  
A1 SCALE 1:1500 M

NOTE :

SEE SURVEY BY O.L.S. FOR VERIFICATION.  
SURVEY INFORMATION TAKEN FROM PLAN  
SHOWING PART OF NORTHEAST HALF LOT 26  
(GEOGRAPHIC TOWNSHIP OF NASSAGAWEYA)  
CONCESSION 6  
TOWN OF MILTON  
REGIONAL MUNICIPALITY OF HALTON  
PREPARED BY : PEARSON & PEARSON SURVEYING LTD.  
DATED: MAY 24, 2023

LEGEND

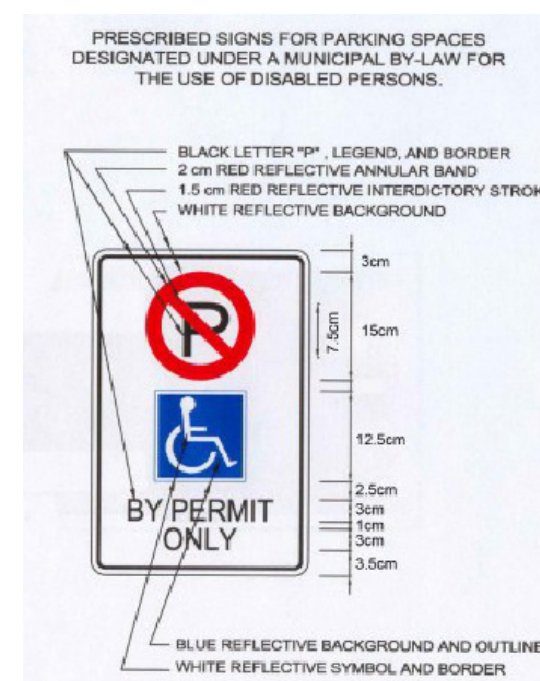
- 000.00 = EXISTING ELEVATION
- 000.00 = PROPOSED ELEVATION
- INDICATES SLOPE DIRECTION
- TPZ INDICATES TREE PROTECTION ZONE
- EXISTING TREES
- NEW TREES
- DOWNSPOUTS
- ENTRANCE LOCATIONS

SITE STATISTICS TABLE

ITEM	PROPOSED	REQUIRED
ZONING CATEGORY	RURAL ZONE	RURAL ZONE
LOT AREA	40352.85 M <sup>2</sup>	
TOTAL NUMBER OF UNITS		
PROPOSED NEW BUILDING AREA	2441.60 M <sup>2</sup>	
EXISTING BUILDING AREA (GARAGE) + PROPOSED NEW BUILDING AREA	2572.14 M <sup>2</sup>	
TOTAL GROSS FLOOR AREA FOR DETERMINING PARKING REQUIREMENTS	2042.72 M <sup>2</sup>	
LOT COVERAGE	5.90 %	15%
REQUIRED PARKING CALCULATION 2042.72 X 0.9 / 30 = 61.2	20 SPACES	62 SPACES
NUMBER OF VISITOR PARKING SPACES		
NUMBER OF ACCESSIBLE PARKING SPACES	2	2
NUMBER OF LOADING SPACES	N/A	N/A
PERCENTAGE OF LOT COVERED BY PARKING, LANES AND ACCESS	9.37 %	---
PARKING STALL DIMENSIONS (STANDARD AND ACCESSIBLE SPACES)	STANDARD 5.8M X 2.75M ACCESSIBLE 5.8M X 4.6M	STANDARD 5.8M X 2.75M ACCESSIBLE 5.8M X 4.6M
LOADING SPACE DIMENSIONS	N/A	N/A
PERCENTAGE OF LANDSCAPE AREA	85.12 %	---
PERCENTAGE OF LOT IN: WORK YARD, OPEN AIR OPERATIONS, OUTSIDE LOADING AREA OR DISPLAY AREA	N/A	N/A
MAXIMUM BUILDING HEIGHT:	10.51 M	NO MAXIMUM
FOR PARKS PLANNING PURPOSES	8370.02 M <sup>2</sup>	

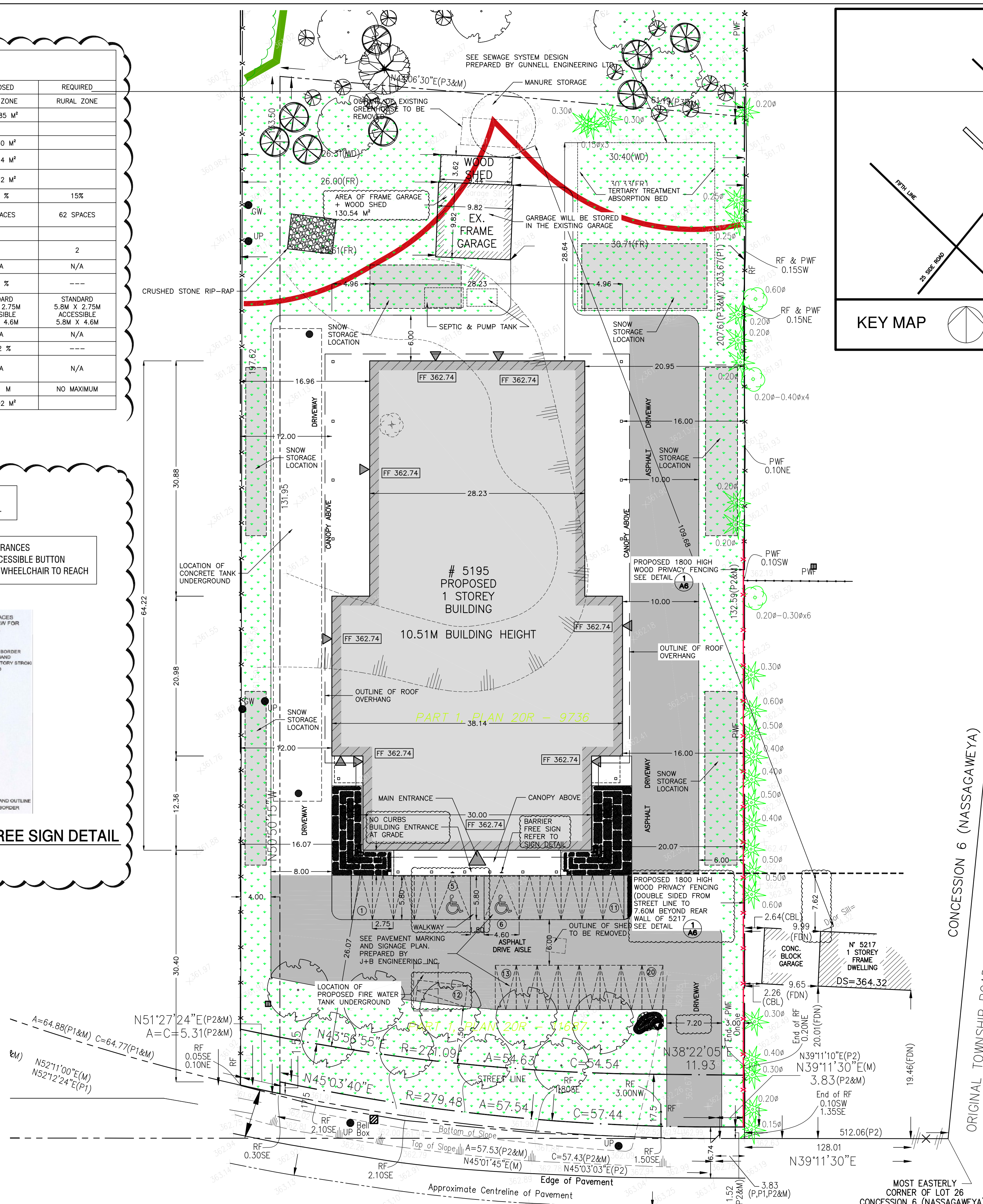
WASTE MANAGEMENT  
PRIVATE WASTE COLLECTION IS REQUIRED.

ENSURE THAT ALL PRIMARY BUILDING ENTRANCES  
ARE EQUIPPED WITH A KEY PAD AND/OR ACCESSIBLE BUTTON  
THAT IS LOW ENOUGH FOR A PERSON IN A WHEELCHAIR TO REACH



3 BARRIER FREE SIGN DETAIL  
A1 SCALE N/A

2 SITE PLAN-FRONT  
A1 SCALE 1:300 M



2 SITE PLAN-FRONT  
A1 SCALE 1:300 M

25

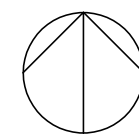
ROAD ALLOWANCE BETWEEN LOTS 25 & 26

SIDEROAD

MOST EASTERLY  
CORNER OF LOT 26  
CONCESSION 6 (NASSAGAWEYA)

CONCESSION 6 (NASSAGAWEYA)  
ORIGINAL TOWNSHIP ROAD ALLOWANCE BETWEEN CONCESSIONS 6 & 7 (NASSAGAWEYA)

KEY MAP



NOTES

All drawings and specifications is an instrument of service and remain the exclusive property of Ambient Designs Ltd., and are protected under the Copyright Act. They may not be reproduced, distributed, altered or submitted for approvals without written permission of the Designer.

Do not scale drawings, dimensions to take precedent over scale.

Contractor to check and verify all levels and dimensions on drawings and on site and report any discrepancies to Ambient Designs Ltd. and obtain clarification prior to commencing with the work.

The contractor accepts all responsibility for working with drawings, not marked "Issued for Construction" and for any changes to the drawings without the express approval of Ambient Designs Ltd.

All work to conform to all governing codes and By-laws

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.5.1 of the building code

Signature: VICTOR A.T. HIRSHLIT Date: 23/07/2024

Required unless design is exempt under 3.2.4.1 of the building code

Signature: AMBIENT DESIGNS LTD. Date: 29/07/2024

Firm Name: AMBIENT DESIGNS LTD. Date: 29/07/2024

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# The Corporation of the Town of Milton

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Report To: Committee of Adjustment and Consent

From: Rachel Suffern, MPA, M.Sc. (PI), MCIP, RPP

Date: April 24, 2025

File No: A25-010M

Subject: 234 Bell Street

**Recommendation:** **THAT the application for minor variance BE APPROVED  
SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development generally proceeds in accordance with the Site Plan prepared by Jansen Consulting and date stamped by Town Zoning on March 05, 2025;
2. That prior to Building Permit issuance, the applicant provides a Stormwater Management Brief, to the satisfaction of Development Engineering Staff;
3. That a Building Permit be obtained within a period of two (2) years from the date of this decision; and,
4. That the proposal be subject to an expiry of two (2) years if the conditions are not fulfilled, the development does not proceed and/or a Building Permit is not obtained.

## General Description of Application

Under Section 45(1) of the Planning Act, the following minor variances to Zoning By-law 016-2014, as amended, have been requested to:

- Allow a maximum lot coverage of 31.34%, where as the Zoning By-law permits a maximum lot coverage of 25% (an increase of 6.34%);
- Allow an interior side yard setback of 1.39 metres, where as the Zoning By-law requires a minimum setback of 1.8 metres (a reduction of 0.41 metres); and,
- Allow a maximum building height of 9.2 metres, where as the Zoning By-law permits a maximum of 9.0 metres (an increase of 0.20 metres).

The subject property is known municipally as 234 Bell Street and legally described as Lot 79 on Plan No. 446. The lands are generally located north of Heslop Road and east of Bronte Street South. Surrounding land uses include low-density residential, parkland and institutional uses (i.e. elementary schools and fairgrounds).

The applicant intends to demolish the existing single-storey dwelling and replace it with a two-storey dwelling with an attached garage. In order to facilitate the proposal, the above-noted relief from the Zoning By-law is required.



## Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated as Urban Area on Map 1 - Regional Structure of the Halton Region Official Plan and further designated as Residential Area on Schedule B - Urban Land Use Plan of the Town of Milton Official Plan.

The Urban Area designation within the Halton Region Official Plan seeks to facilitate orderly development that supports both the creation and sustainability of healthy communities.

Section 3.2.2 of the Town of Milton Official Plan permits a range of housing types within the Residential Area designation.

Section 3.2.1.8 and 3.2.1.9 requires that through appropriate design and built-form, new dwellings constructed within the Mature Neighbourhood Area be compatible and respectful of the existing neighbour where it is located.

Given the application proposes a single-detached dwelling and the proposal maintains the policies of the Mature Neighbourhood Area through appropriate design principles, Staff is satisfied that the proposal is in conformity with the applicable Official Plan direction.

## Zoning

The subject lands are zoned Residential Low Density III (RLD 3\*300) in the Town of Milton Urban Zoning By-law 016-2014, as amended. The RLD3\*300 Zone permits a range of low-density housing types along with provisions to establish appropriate development within the area and existing mature neighbourhoods.

### Variance No. 1 - Increased Lot Coverage

Section 6.2 Table 6B-1 permits a maximum lot coverage of 25% for lots having an area between 660 square metres and 830 square metres. The intent of this provision is to ensure a lot is not overdeveloped.

Based on the current proposal, the applicant is seeking maximum lot coverage of 31.24% (inclusive of the proposed covered porch).

### Variance No. 2 - Reduced Interior Side Yard Setback

Section 6.2 Table 6B-1 requires a minimum interior side yard setback of 1.8 metres. The intent of this provision is to provide adequate access throughout the lot, an area of run-off from any structures, and an adequate setback to maintain privacy from adjacent landowners.

Based on the proposed siting of the dwelling, the applicant is seeking a minimum side yard setback of 1.39 metres along a portion of the northerly interior side yard setback where a below grade entrance is located.

### Variance No. 3 - Increased Height

Section 6.2 Table 6B-1 permits a maximum height of 9 metres. The intent of this provision is to ensure that any new development maintains an appropriate height in context of the surround low-density residential neighbourhood whereby disruption to sightlines and shadow impacts are



## Zoning

minimized. To accommodate the proposed pitch, the applicant is seeking an increase height of 9.2 metres.

With the exception of the aforementioned, the proposal maintains all provisions of the Zoning By-law 016-2014, as amended.

## Consultation

### *Public Consultation*

Notice for the hearing was provided pursuant to the Planning Act on April 8, 2025. As of the writing of this report on April 16, 2025, staff have not received any comments from members of the public.

### *Agency Consultation*

No objections were filed with respect to the variance application from Town Staff or external agencies.

While Development Engineering offers no objection to the proposal, as a condition of approval, it has been requested that the applicant provide a Stormwater Management Brief, to the satisfaction of Town Staff, prior to Building Permit issuance. The intent of this is to ensure that the development appropriately manages run-off and does not have adverse impacts on adjacent lands.

## Development Services Comments

The applicant has requested a minor variance to facilitate the development of a two-storey single detached dwelling with an attached garage. A covered porch is proposed at both the front and rear of the dwelling. The existing bungalow is proposed to be removed.

### Variance No. 1 - Increased Lot Coverage

The applicant is seeking to increase the maximum permitted lot coverage for a lot with an area between 660 square metres and 830 square metres to 31.24% (an increase of 6.34%).

The Zoning By-law establishes tiered permissions associated with lot coverage that establishes a maximum percentage based on lot size. The subject property is 780 square metres and therefore is permitted 25% lot coverage as-of-right. Covered porches also contribute to the overall lot coverage calculation. The proposed footprint of the dwelling - excluding the covered porches - is 26.31%. The front and rear covered portions represent an additional 5.03%, ultimately resulting in 31.24% lot coverage.

Staff is satisfied that the dwelling footprint is not a significant departure from the as-of-right permissions and the addition of covered porches not only provides amenity area but also represents a positive design element that contributes the surrounding neighbourhood character. The overall dwelling as proposed is both respectful and compatible with the existing neighbourhood. The impact of the additional 6.34% lot coverage will ultimately have no impact on the property, nor those adjacent, beyond what is otherwise permitted as-of-right. Further, the additional coverage does not result in deficiencies with respect to setbacks and does not result in over-development of the lot.





## Consultation

As a condition of approval, Staff is recommending that a Stormwater Management Brief be provided prior to Building Permit issuance to ensure that any additional run-off anticipated as a result of the increased lot coverage will not negatively impact the subject property or those adjacent.

### Variance No. 2 - Reduced Interior Side Yard Setback

The applicant is proposing a below-grade entrance along the northern side of the dwelling. As a result of the staircase, the affected interior side yard setback is proposed to be 1.39 metre at that specific pinch point. The balance of the interior side yard would maintain the 1.8 metre requirement.

Staff is satisfied that the relief requested to accommodate the staircase is minor. The majority of the affected side yard maintains the 1.8 metres and while the proposed pinch point reduces the side yard to 1.3 metres. Staff is satisfied that the proposed reduction does not hinder the functionality of the side yard from the perspective of navigating the lot from front to rear. Staff also note that the alternate side yard maintains a 2.47 metre side yard and remains accessible for individuals to access the rear yard, along with maintenance equipment.

Staff is of the opinion that the reduced side yard is minor and will not negatively impact the development nor impact the adjacent landowners. Foregoing the stairs, the footprint of the dwelling maintains the required setbacks and demonstrates that the proposal is not overdevelopment of the lot. Further, the below grade entrance provides an opportunity in the future if the landowner elects to legalize the basement as an Additional Residential Unit.

### Variance No. 3 - Increased Height

The applicant is seeking to increase the permitted height from a maximum of 9 metres to 9.2 metres (an increase of 0.20 metres). Given the established grade and drainage patterns to accommodate a rear yard catch basin, the height exceeds the maximum permissions set-out in the Zoning By-law. Staff is of the opinion that the additional 0.20 metres is minor and given the mansard roof style is unlikely to result in any visual impact beyond what would otherwise exist if the proposal complied with the 9 metre maximum provision.

Based on the aforementioned, Planning Staff offer no objection to the approval of this application, subject to the recommended conditions being fulfilled. The variances being requested are minor in nature, desirable for the development of the subject lands, maintain the intent of the Zoning By-law and conform to the Official Plan.

Respectfully submitted,

Rachel Suffern, MPA, M.Sc. (PI), MCIP, RPP  
Planner, Development Review

For questions, please contact:

Rachel.Suffern@Milton.ca

Phone: Ext. 2263





# The Corporation of the Town of Milton

File #:  
A25-010M  
Page 5 of 5

Attachments
Figure 1 - Site Plan Figure 2 - Elevations









# The Corporation of the Town of Milton

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Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: April 24, 2025

File No: A-25-011M

Subject: 14193 Fourth Line

**Recommendation:** **THAT the application for minor variance BE APPROVED  
SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Jansen Consulting dated and stamped by Town Zoning on March 13, 2025.
2. That a Grading Plan be provided to Town Engineering Staff for their review and approval, prior to the issuance of a Building Permit.
3. That a Building Permit be obtained within two (2) years from the date of the decision; and
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

## General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested:

- To allow a maximum of gross floor area of 325 square metres, a difference of + 232.6 square metres; and
- To allow for a maximum height of 5.8 metres, + 0.3 metres.

The subject property is known municipally as 14193 Fourth Line. The subject property is north of 30 Side Road and on the west side of Fourth Line Nassagaweya and surrounding uses are agricultural and rural residential. The subject property currently contains a single-detached dwelling as well as a detached garage. The applicant is proposing to demolish the existing dwelling and garage and construct a new single-detached dwelling and associated detached garage in the same location.



## Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated as Agricultural Area in the Town of Milton Official Plan. The Agricultural Area designation permits single-detached dwellings on existing lots as well as accessory buildings and structures. It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan.

The lands are designated as Greenbelt Protected Countryside in the Greenbelt Plan. These policies permit existing uses and single detached dwellings on the lands, provided that they were permitted prior to the date that the Greenbelt Plan came into force. It is Staff's opinion that the proposal is in conformity with the Greenbelt Plan.

The subject property is not within the Region's Natural Heritage System or regulated by Grand River Conservation Authority.

## Zoning

The subject lands are zoned Rural Zone (A2) under the Comprehensive Zoning By-law 144, 2003, as amended. In this zone, single-detached dwelling and accessory structures are permitted.

Section 4.1.2.2 ii) of the Town's Zoning By-law states that a detached garage and carports shall not exceed a gross floor area of 93 square metres. The applicant is requesting permission to allow for a maximum gross floor area of 325 square metres, a difference of + 232.6 square metres, to facilitate the proposed development.

Section 4.1.2.2 ii) of the Town's Zoning By-law states that a detached garage and carport shall not exceed a maximum height of 5.5 metres. The applicant is requesting permission to allow for a maximum height of 5.8 metres, a difference of + 0.3 metres, to facilitate the proposed development.

## Consultation

### *Public Consultation*

Notice for the hearing was provided pursuant to the Planning Act April 8, 2025. As of the writing of this report on April 16, 2025 staff have not received any comments from members of the public.

### *Agency Consultation*

No objections were filed with respect to the variance application from Town staff or external agencies.

Town Engineering staff reviewed the application and will require further information to ensure there are no outstanding site grading concerns and this has been included as a condition of development approval.



## Consultation

### Development Services Comments

The applicant has requested a minor variance to facilitate the construction of a detached garage on the subject property. The subject property currently contains a single-detached dwelling and detached garage. The applicant is proposing to demolish the existing dwelling and rebuild a new single-detached dwelling with an associated detached garage. The proposed detached garage will provide storage for the homeowners ATVs, snowmobile and other hobby cars and additional area to possibly construct a car lift in the garage in the future. The accessory structure is strictly for personal storage and use.

The applicant is requesting permission to allow for a maximum gross floor area of 325 square metres, a difference of + 232.6 square metres, to facilitate the proposed development. Further, the applicant is requesting permission to allow for a maximum height of 5.8 metres, a difference of + 0.3 metres, to facilitate the proposed development.

In consideration of the increase in gross floor area of the proposed detached garage, Planning Staff are of the opinion that although the proposed structure is significantly larger than the maximum gross floor area permitted in the Zoning By-law, the impact of the proposed structure on the overall development and use of the lands, as well as the impact on adjacent properties, is negligible. The Zoning By-law would permit multiple accessory structures with a maximum gross floor area of 93 square metres to be constructed on the subject lands.

In consideration of the increase in height for the proposed detached garage, Planning staff have no concerns given the location and heavily treed environment. Planning staff have reviewed the Arborist Report and have no concerns with the required tree removal to allow for the proposed dwelling and accessory structure to remain in close proximity to the existing in-ground swimming pool on the property which will remain. Further, the applicant has confirmed that they will work with the Arborist that has been retained to confirm appropriate locations for tree plantings once construction has commenced.

Planning Staff are of the opinion that the requested variances are minor in nature, conform to the general intent of both the Official Plan and Zoning By-law and are desirable for the development and use of the subject property. As such, Planning Staff have reviewed the requested variances and offer no objection to their approval as the increased height and gross floor area are not anticipated to negatively affect adjacent properties.

Respectfully submitted,

*Taylor Wellings*

Taylor Wellings, MSc (PI), MCIP, RPP  
Planner, Development Review

For questions, please contact:

Phone: Ext. 2311





# The Corporation of the Town of Milton

File #:  
A-25-011M  
Page 4 of 4

Attachments
Figure 1 – Proposed Site Plan



**KEY PLAN**

N.T.S.

HWY 7

BRAMPTON-MILTON TOWNSHIP

5th LINE

4th LINE

30' SIDE RD

NO 14193

PROJECT:  
14193 4TH LINE, NASSAGAWEYA  
CAMPBELLVILLE, ON.

**LEGEND**

W W

SAN SAN

**NOTE: ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS.**

**NO OPEN BURNING PERMITTED**

**HYDRO TO BE DISCONNECTED AT DEMOLITION STAGE & INSTALL NEW OVERHEAD SERVICE TO NEW DWELLINGS**

SILTATION FENCING

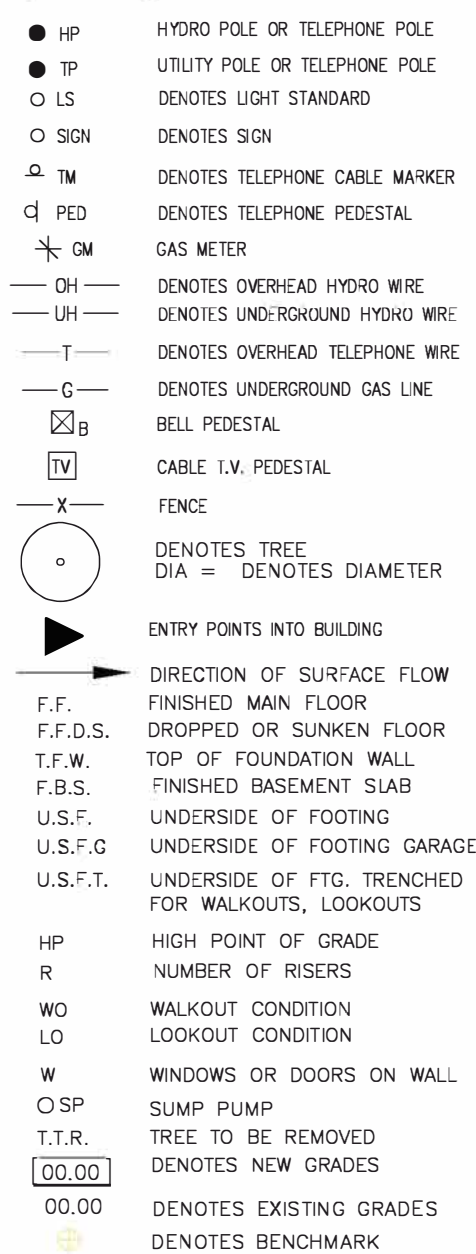
TREE HOARDING

OVERHEAD WIRE

TOP OF BANK

BURIED WATER SERVICE

BURIED SANITARY SERVICE



- PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SITE, SNOW FENCE IS INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING, AND THAT THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER, DEVELOPMENT ENGINEERING.
- SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICES DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSES OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND FOR SERVING EXCAVATIONS WITHIN THE MUNICIPAL ROAD ALLOWANCE (ROAD CLOSURE PERMIT).
- SILT FENCE IS REQUIRED TO BE INSTALLED AROUND ALL DISTURBED AREAS AS PER OPSD 219.110
- SILT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AND COMPACTION TESTING SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE DIRECTOR, DEVELOPMENT ENGINEERING
- ALL DISTURBED AREAS WITHIN THE MUNICIPAL ROAD ALLOWANCE ARE TO BE REINSTATED TO TOWN STANDARDS
- ALL DISTURBED AREAS WITHIN THE MUNICIPAL ROAD ALLOWANCE ARE TO BE REINSTATED TO EXISTING CONDITIONS OR BETTER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON THIS PLAN.

IT SHALL BE RESPONSIBILITY OF THE BUILDERS TO HAVE ALL GRADES VERIFIED AND CHECKED BEFORE CONSTRUCTION BY AN APPROVED GRADING ENGINEER. THESE GRADES AND THE PLACEMENT OF STORMS AND SANITARY SERVICES OFF THE STREET ARE TO MEET THE REQUIREMENT OF THE MUNICIPALITY HAVING JURISDICTION.

JANSEN CONSULTING IS TO BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST (ONE) WEEK BEFORE EXCAVATION COMMENCES IN ORDER THAT THE BUILDING CAN BE RESISTED FAILURE TO OBSERVE THESE CONDITIONS MAY REQUIRE MAY REQUIRE EXPENSIVE REMEDIAL ACTION THAT WILL NOT BE THE RESPONSIBILITY OF OR COST TO JANSEN CONSULTING FOUNDATIONS WALLS SHALL BE POURED TO A MINIMUM OF 6" ABOVE THE APPROVED

FINISH GRADE LINES AS INDICATED ON THE HOUSE PROTOTYPE.

GARAGE FOOTINGS ARE TO BE EXTENDED TO ORIGINAL GROUND OR AS APPROVED BY SOILS ENGINEER.

EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.

BASEMENT OPENINGS TO BE MINIMUM 300MM ABOVE THE CENTERLINE OF ROAD UNLESS OTHERWISE APPROVED BY THE CITY'S ENGINEER.

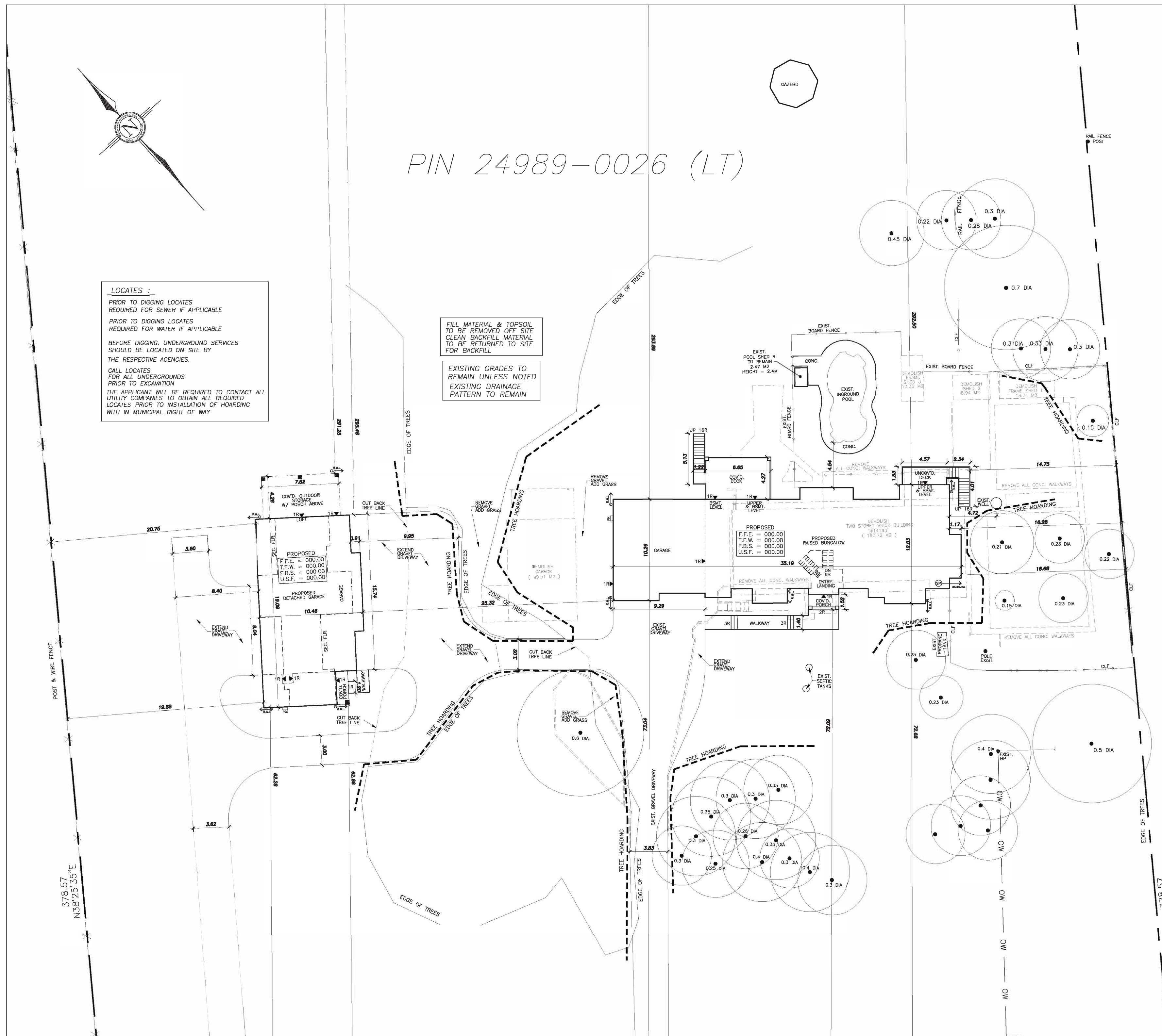
FOUNDATION AT BUILDINGS ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225 ABOVE OVERLAND FLOW ROUTE ELEVATION.

WATER PUMP MUST DISCHARGE DIRECTLY INTO MUNICIPAL STORM SEWER OR TO GRADE.

S.A. MINIMUM OF 150MM (6") FROM THE TOP OF FOUNDATION TO THE TOP OF THE BUILDING MUST BE PROVIDED TYPE.

6. THE FINISHED FLOOR ELEVATION, UNDERSIDE OF FOOTING ELEVATION, BASEMENT WINDOW SILL ELEVATION, ETC. ARE TO BE CONFIRMED BY THE CONTRACTOR IN CONSULTATION WITH THE ENGINEER. FOUNDATION TO BE BASED ON THE MIN. TOP OF FOUNDATION ELEVATION PROVIDED.

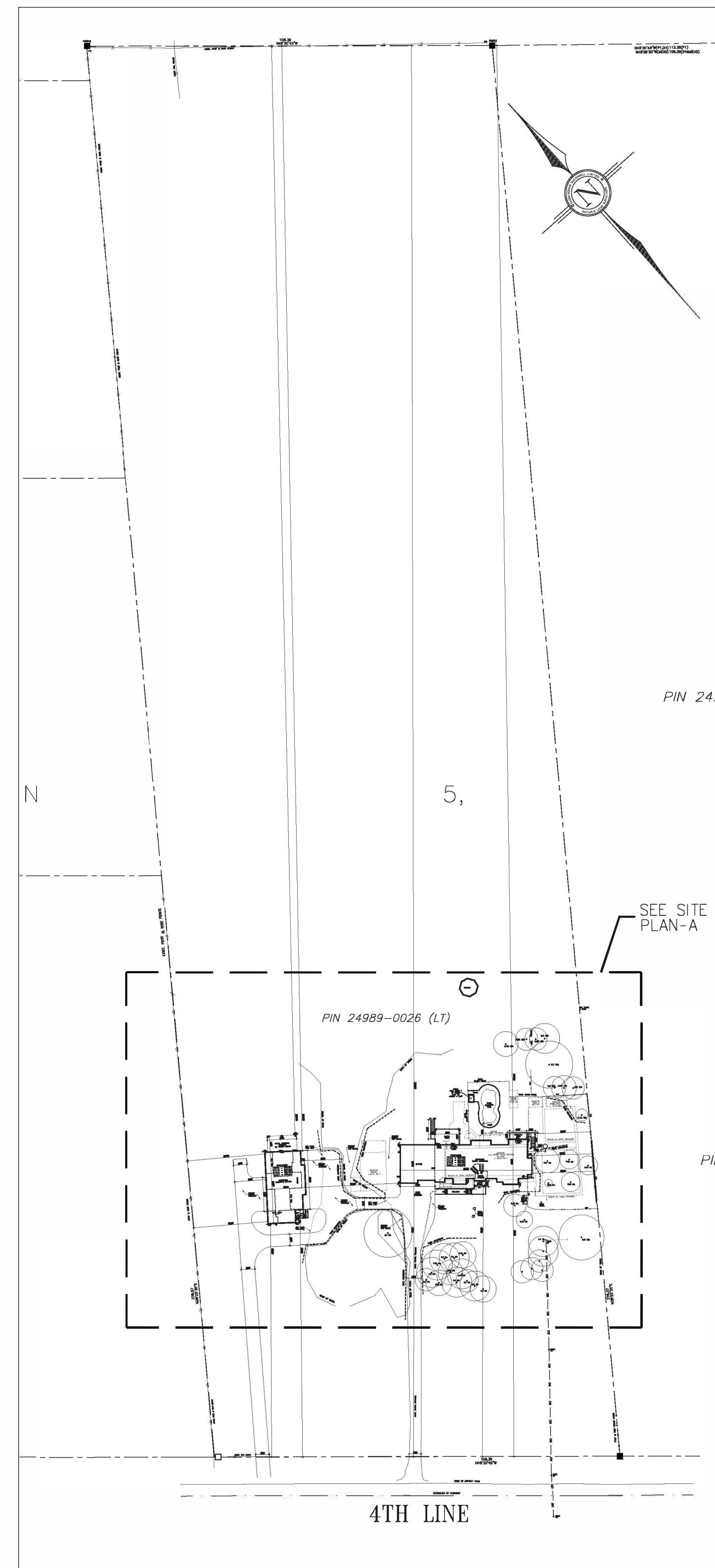
ITEM			ZONING BY--LAW REQUIREMENTS	PROPOSED
A	ZONING CATEGORY		A2	A2
B	LOT AREA		8,000 M2	14,941 M2
C	LOT COVERAGE		2,241.15 M2 (15%)	393.2 M2 (HOUSE) 220 M2 (DETACHED GARAGE)
D	PERCENTAGE OF LANDSCAPE		N/A	N/A
E	MAXIMUM BUILDING HEIGHT FROM GRADE		11 M GRADE TO TOP OF ROOF 5.5 M GRADE TO MIDPOINT OF ROOF	8.42M (HOUSE) 5.8M (DETACHED GARAGE)
F	SIDE YARD SETBACKS	INTERIOR	7.5M	16.28M & 56.20M N/A
		EXTERIOR	N/A	
G	FRONT SETBACK		22.5M	72.09M
H	REAR SETBACK		22.5M	292.50M



SCALE = 1:250

-0.1%

## HOUSE SETBACKS



SCALE = 1:1000



NOTE: ALL LOCATES WILL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY HOARDING WITHIN MUNICIPAL RIGHT OF WAY



70 Main Street N., P.O. Box 38  
Campbellville, ON, L0P 1B0  
Ph. 905-854-9696  
Fax 905-854-9559  
Cell 905-815-3438  
EMAIL : jeffjansendesign@gmail.com

| TYPE : C-038

PROJECT :  
14193 4TH LINE NASSAGAWEYA  
LOCATION :  
CAMPBELLVILLE, ON

**OWNERS INFORMATION :**  
WAYNE AND KRISTY ARTHUR  
14193 4TH LINE NASSAGAWEA  
CAMPBELLVILLE, ON

## | SITE PLAN

		SCALE		DATE FEB 25 25		PROJECT NO. 2024-036	
		DRAWN BY AS		CHECKED BY AS			
NO. DATE DESCRIPTION		FILE NAME				DRAWING NO. S1	
REVISIONS							

METRIC. DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.





# The Corporation of the Town of Milton

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Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: April 24, 2025

File No: A-25-012M

Subject: 144 King Street

**Recommendation:** **THAT the application for minor variance BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Jansen Consulting and stamped by Town Zoning on March 24, 2025.
2. That a Stormwater Management Brief and Detailed Site Grading Plan be provided to Town Engineering Staff for their review and approval, prior to the issuance of a Building Permit.
3. That a Building Permit be obtained within two (2) years from the date of the decision; and

That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

## General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested:

1. To allow for the maximum permitted lot coverage for a lot between 660-830 square metres, to be 33%, a difference of + 8%; and
2. To allow for a setback from the building front wall of 4.42 metres, a difference of - 1.08 metres.

The subject property is known municipally as 144 King Street. The subject property is located west of Hugh Street and the surrounding uses are primarily residential and downtown commercial uses. The subject property currently contains a single-detached dwelling which will be demolished. The applicant is requesting relief from the Town's Zoning By-law to allow for the proposed single-detached dwelling to have special permissions for lot coverage as well as a setback from the building front wall.



## Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated as Residential Area in the Town of Milton Official Plan on Schedule B 'Urban Area Land Use Plan'. This designation permits single detached dwellings and accessory structures.

The property is also located within a Mature Neighbourhood Area on Schedule F of the Town of Milton Zoning By-law 016-2014. On October 19th, 2020 Milton Council passed Official Plan Amendment No. 60 and an accompanying Zoning By-law Amendment for the Downtown Character Area in accordance with the Mature Neighbourhoods Character Study. The Official Plan Amendment updated the Town's policies to better manage development in Mature Neighbourhood and Character Areas, and the Zoning By-law Amendment introduced new standards that apply to low-density residential development in the Downtown Character Area.

The Official Plan policies intend for Mature Neighbourhood Areas around the Central Business District to remain relatively stable so far as built form and urban design. The policies specify that in these areas, infill and development must be compatible with and respectful of the existing neighbourhood character.

There are a number of sections of the Official Plan that speak to ensuring that development within the Mature Neighbourhood areas shall be sympathetic to the surrounding area and proposed development shall incorporate scale, massing, building height as well as other characteristics prevalent in the area. Further, Section 5.8.3.2 of the Official Plan does state that minor variance applications for development within the Mature Neighbourhood Areas shall be evaluated based on the following additional criteria: a) that the scale, massing, building height, built form features and coverage are compatible with and respectful of the existing character of the Area; and b) that the impacts on adjacent properties are minimized.

Town staff worked with the applicant and homeowner to reduce the lot coverage request to meet the four tests of a minor variance as well as meet the policies outlined in the Mature Neighbourhoods Character Study. Further, the applicant and homeowner met with Policy Staff to discuss urban design and building attributes to be featured in the proposed dwelling to also assist with the compatibility of the surrounding area.

It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan.

## Zoning

The subject lands are zoned Residential Low Density 1 (RLD1) under the Town of Milton Zoning By-law 016-2014, as amended. The RLD1 zone permits a variety of residential uses, including detached dwellings.

Section 6.2 Table 6A and 6A(I) of the Town's Zoning By-law states that the maximum permitted lot coverage for lots having area between 660-830 square metres is 25%. The applicant has requested permission to allow for lot coverage of 33%, a difference of + 8%, to facilitate the proposed development.



## Zoning

Section 6.3.2 II) B) of the Town's Zoning By-law states that for a garage or carport where the width of the garage face or front of the carport is greater than 3.5 metres, the garage face or front of the carport shall be setback a minimum of 5.5 metres from the building front wall. The applicant has requested permission to allow for a setback from the building wall of 4.42 metres, a difference of - 1.08 metres, to facilitate the proposed development.

## Consultation

### *Public Consultation*

Notice for the hearing was provided pursuant to the Planning Act on April 8, 2025. As of the writing of this report on April 16, 2025 staff have not received any comments from members of the public.

### *Agency Consultation*

No objections were filed with respect to the variance application from Town staff or external agencies. Town Engineering staff have confirmed that a Stormwater Management Brief and Site Grading Plan will be required and have been included as a condition of development approval.

## Development Services Comments

The applicant has requested a minor variance to facilitate the construction of a proposed detached dwelling. The subject property currently contains a single-detached dwelling which will be demolished. As noted above, Town staff did meet with the applicant to discuss the proposed development and expressed concerns regarding lot coverage. The applicant revised the proposal to reduce some additional square footage and met with Policy staff to ensure a building design that was appropriate for the character area.

The applicant has requested permission to allow for lot coverage of 33%, a difference of + 8%, to facilitate the proposed development. Further, the applicant has requested permission to allow for a setback from the building wall of 4.42 metres, a difference of - 1.08 metres, to facilitate the proposed development. The design elements proposed are minor in nature and the proposed dwelling will not negatively impact the surrounding residential area.

Planning staff do not anticipate the increase in lot coverage or setback from the building wall will negatively impact the surrounding property owners and the proposed dwelling meets all remaining zoning provisions including height and setbacks. As noted above, Engineering staff will require further information to ensure there are no outstanding stormwater or site grading concerns and these have been included as a condition of development approval.

Planning Staff are of the opinion that the requested variances are minor in nature, conform to the general intent of both the Official Plan and Zoning By-law and are desirable for the development and use of the subject property. As such, Planning Staff have reviewed the requested variances and offer no objection to their approval.





# The Corporation of the Town of Milton

File #:  
A-25-012M  
Page 4 of 4

Respectfully submitted,

*Taylor Wellings*

Taylor Wellings, MSc (PI), MCIP, RPP  
Planner, Development Review

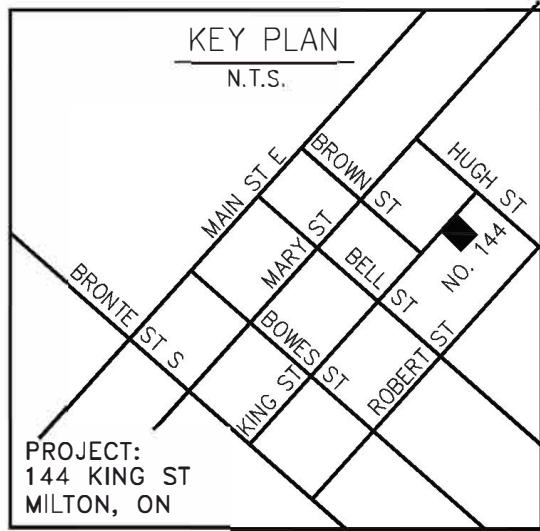
For questions, please contact:

Phone: Ext. 2311

Attachments
Figure 1 - Proposed Site Plan



LOT 07, BLOCK 9  
REGISTERED PLAN No. 7  
TOWN OF MILTON  
REGIONAL MUNICIPALITY OF HALTON



LEGEND

- HT DENOTES HYDRO TRANSFORMER  
MH DENOTES MANHOLE  
CB DENOTES SINGLE CATCH-BASIN  
HP DENOTES HYDRO POLE OR TELEPHONE POLE  
UP DENOTES UTILITY POLE OR TELEPHONE POLE  
LS DENOTES LIGHT STANDARD  
SIGN DENOTES SIGN  
TM DENOTES TELEPHONE CABLE MARKER  
PED DENOTES TELEPHONE PEDESTAL  
WV DENOTES WATER VALVE MAIN SHUT OFF  
WB DENOTES WATER BOX/ CURB STOP  
FH DENOTES FIRE HYDRANT  
GM DENOTES GAS METER  
OH DENOTES OVERHEAD HYDRO WIRE  
UH DENOTES UNDERGROUND HYDRO WIRE  
T DENOTES OVERHEAD TELEPHONE WIRE  
C DENOTES UNDERGROUND GAS LINE  
CT DENOTES CABLE  
B DENOTES BELL UNDERGROUND OR OVERHEAD CABLE T.V. PEDESTAL  
X DENOTES MAILBOX  
SAN. INV. SANITARY CONNECTION / INVERT  
STM. INV. STORM CONNECTION / INVERT  
W WATER SERVICE  
WM WATER METER  
FENCE

GENERAL NOTES :  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL ELEVATIONS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON THIS PLAN.

IT SHALL BE RESPONSIBILITY OF THE BUILDERS TO HAVE ALL LOCATES, PERMITS AND CHECKS FOR GRADING, ELEVATIONS, THESE GRADINGS AND THE PLACEMENT OF STORMS AND SANITARY SERVICES OFF THE STREET ARE TO MEET THE REQUIREMENT OF THE MUNICIPALITY HAVING JURISDICTION.

IF ANY CONSULTING IS TO BE REQUIRED PROMPTLY PRIOR TO ANY EXCAVATIONS AT LEAST 14 DAYS BEFORE EXCAVATION. COMMENCES IN ORDER THAT THE BUILDING CAN BE RELOCATED. THESE CONDITIONS MAY REQUIRE THAT WILL NOT BE THE RESPONSIBILITY OF OR COST TO JANSEN CONSULTING FOUNDATIONS WALLS SHALL BE POURED TO A MINIMUM OF 8" ABOVE THE APPROVED GRADES.

FINISH GRADE LINES AS INDICATED ON THE HOUSE PROTOTYPE.  
GARAGE FOOTINGS ARE TO BE EXTENDED TO ORIGINAL GROUND OR AS APPROVED BY SOILS ENGINEER.

- ENTRY POINTS INTO BUILDING  
FINISHED MAIN FLOOR  
DROPPED OR SUNKEN FLOOR  
TOP OF FOUNDATION WALL  
FINISHED BASEMENT SLAB  
UNDERSIDE OF FOOTING  
UNDERSIDE OF FOOTING GARAGE  
UNDERSIDE OF FIG. TRENCHED FOR WALKOUTS, LOOKOUTS  
ENGINEERED FILLED LOT  
HIGH POINT OF GRADE  
NUMBER OF RISERS  
WALKOUT CONDITION  
LOOKOUT CONDITION  
REVERSE PLAN  
WINDOWS OR DOORS ON WALL  
SUMP PUMP  
FIRE HYDRANT  
TREE TO BE REMOVED

- 00.00 DENOTES NEW GRADES  
00.00 DENOTES EXISTING GRADES  
00.00 DENOTES BENCHMARK  
FY FRONT YARD AREA  
LA PROP. LANDSCAPED OPEN SPACE (MIN. 40%)

LOCATES :

PRIOR TO DIGGING LOCATES REQUIRED FOR SEWER IF APPLICABLE

PRIOR TO DIGGING LOCATES REQUIRED FOR WATER IF APPLICABLE

BEFORE DIGGING, UNDERGROUND SERVICES SHOULD BE LOCATED ON SITE BY THE RESPECTIVE AGENCIES.

CALL LOCATES FOR ALL UNDERGROUNDS PRIOR TO EXCAVATION. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO INSTALLATION OF HOARDING WITHIN MUNICIPAL RIGHT OF WAY.

ITEM	ZONING BY-LAW REQUIREMENTS	PROPOSED
A ZONING CATEGORY	RLD1	RLD1
B LOT AREA	N/A	714.90 M <sup>2</sup>
C LOT COVERAGE	178.73 M <sup>2</sup> (25%)	234.52 M <sup>2</sup> (32.80%)
D PERCENTAGE OF LANDSCAPE	214.47 M <sup>2</sup> (30%)	377.78 M <sup>2</sup> (52.84%)
E MAXIMUM BUILDING HEIGHT FROM GRADE	9.5 METERS ESTABLISHED GRADE TO UPPERMOST POINT OF ROOF	8.15 M
F SIDE YARD SETBACKS	INTERIOR 1.8M	2.72M & 2.97M
G HOUSE EXTERIOR	N/A	N/A
H FRONT SETBACK	4M	4M TO PORCH
I REAR SETBACK	7.5M	10.10M

NOTE: CONTRACTOR AND BUILDER TO DETERMINE EXISTING WATER SERVICE AND OBTAIN PERMITS FOR NEW WATER SERVICE. IF MAY NEED A ROAD CUT PERMIT FOR ANY NEW UNDERGROUND SERVICES FROM ROAD TO LOT LINE

OLD GAS LINE TO BE TERMINATED AT MAIN LINE BY UNION GAS  
NEW GAS LINE TO BE INSTALLED TO DWELLING

HYDRO TO BE DISCONNECTED AT DEMOLITION STAGE & INSTALL NEW OVERHEAD SERVICE TO NEW DWELLINGS

APPLICANT MUST CONTACT HALTON REGION TO HAVE WATER TURNED OFF AND METER REMOVED PRIOR TO DEMOLITION. ANY NEW CONSTRUCTION REQUIRES SERVICE PERMIT FROM REGION

NOTE: ALL LOCATES WILL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY HOARDING WITHIN MUNICIPAL RIGHT OF WAY

NO OPEN BURNING PERMITTED

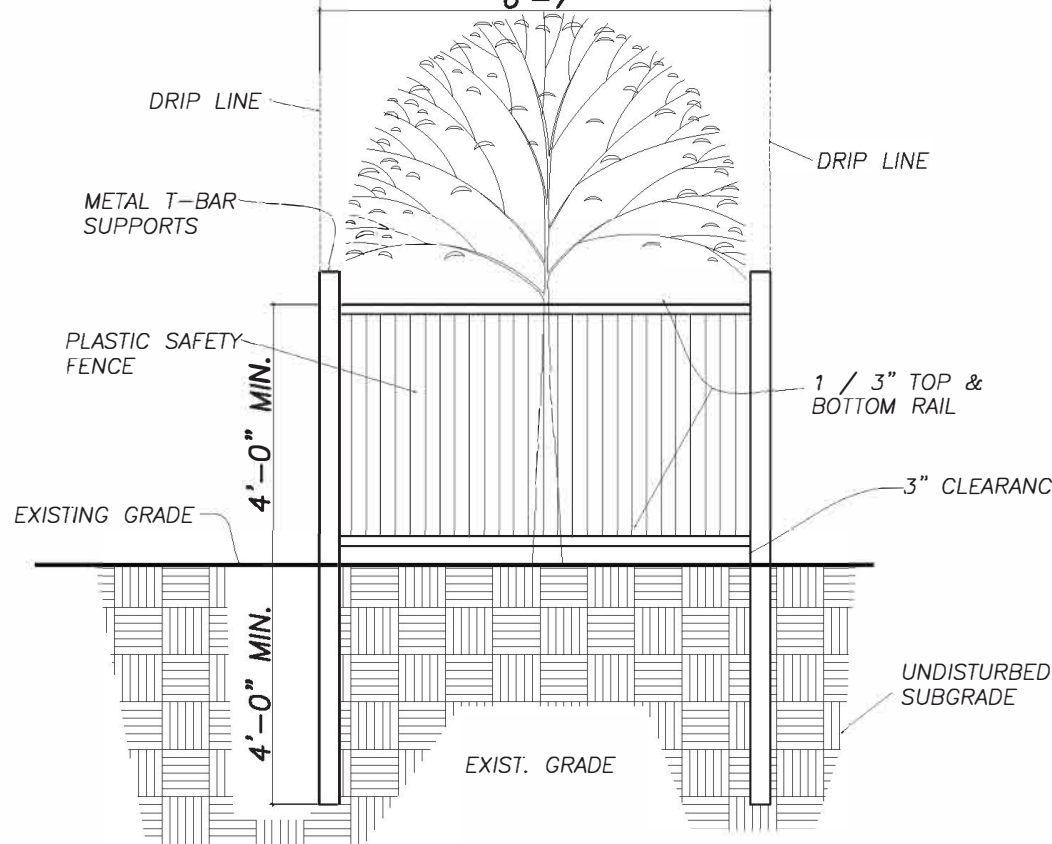
GRADING NOTES:

1. EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.  
2. BASEMENT OPENINGS TO BE MINIMUM 300MM ABOVE THE CENTERLINE OF ROAD UNLESS OTHERWISE APPROVED BY THE CITY'S ENGINEER.  
3. GROUND ELEVATIONS AT BUILDINGS ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225 ABOVE OVERLAND FLOW ROUTE ELEVATIONS.  
4. SUMP PUMP MUST DISCHARGE DIRECTLY INTO MUNICIPAL STORM SEWER OR TO GRADE.  
5. A MINIMUM OF 150MM (6") FROM THE TOP OF FOUNDATION TO THE FINISHED GRADE OUTSIDE THE BUILDING MUST BE PROVIDED, TYP.  
6. THE FINISHED FLOOR ELEVATION, UNDERSIDE OF FOOTING ELEVATION, BASEMENT WINDOW SILL ELEVATION, ETC. ARE TO BE CONFIRMED BY THE CONTRACTOR IN CONSULTATION WITH THE BUILDING DESIGNER, BASED ON THE MIN. TOP OF FOUNDATION ELEVATION PROVIDED.

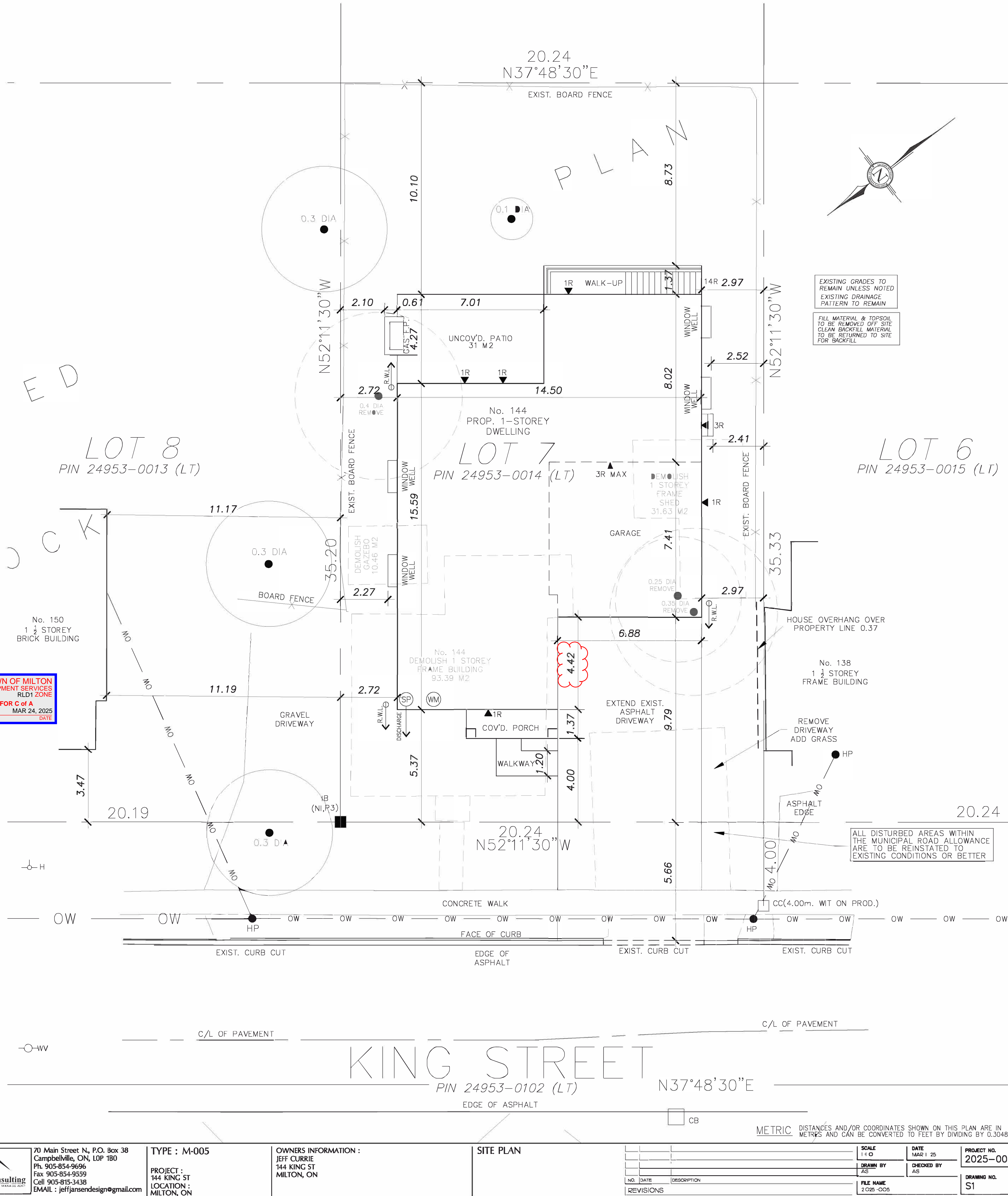
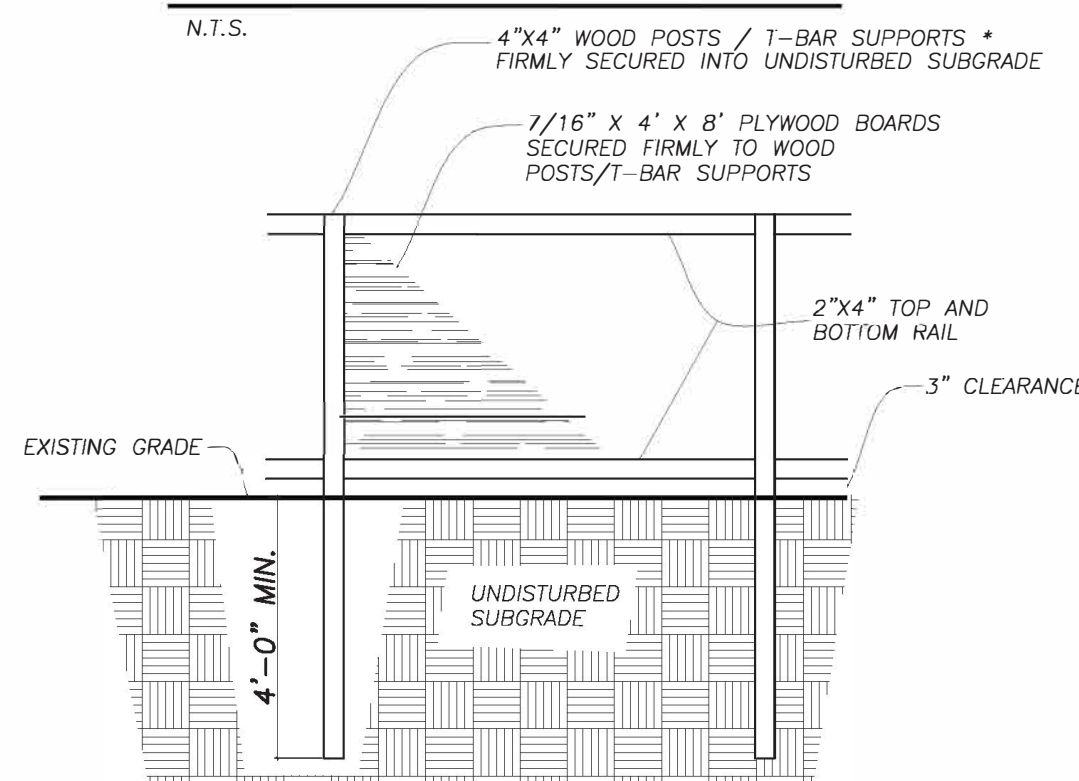
TOWN OF MILTON NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SITE, SNOW FENCE IS INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING, AND THAT THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER, DEVELOPMENT ENGINEERING.  
- SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.  
- PRIOR TO COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICES DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSES OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND FOR SERVICING EXCAVATIONS WITHIN THE MUNICIPAL ROAD ALLOWANCE, (ROAD OCCUPANCY PERMIT).  
- SILT FENCE IS REQUIRED TO BE INSTALLED AROUND ALL DISTURBED AREAS AS PER OPSD 219.110  
- ALL FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AND COMPACTION TESTING SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE DIRECTOR, DEVELOPMENT ENGINEERING  
- ALL DISTURBED AREAS WITHIN THE MUNICIPAL ROAD ALLOWANCE ARE TO BE REINSTATED TO TOWN STANDARDS  
- ALL DISTURBED AREAS WITHIN THE MUNICIPAL ROAD ALLOWANCE ARE TO BE REINSTATED TO EXISTING CONDITIONS OR BETTER.

FRAMED HOARDING N.T.S.



SOLID BOARD HOARDING N.T.S.



METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

I, JEFF JANSEN DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSEN CONSULTING UNDER DIVISION C, SUBSECTION 3.2.5 AND 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED SET OUT BY THE O.B.C. QUALIFIED DESIGNER BCIN - 30272 FIRM BCIN - 110042  
DATE: MAR 1 25 SIGNATURE: [Signature]



70 Main Street N, P.O. Box 38  
Campbellville, ON, L0P 1B0  
Ph. 905-854-9696  
Fax 905-854-9559  
Cell 905-815-3438  
EMAIL: jeffjansendesign@gmail.com

TYPE : M-005

PROJECT :  
144 KING ST  
LOCATION :  
MILTON, ON

OWNERS INFORMATION :  
JEFF CURRIE  
144 KING ST  
MILTON, ON

SITE PLAN

NO.	DATE	DESCRIPTION
1	2025-03-05	AS

SCALE	DATE	PROJECT NO.
1:10	MAR 1 25	2025-005
DRAWN BY	CHECKED BY	DRAWING NO.
AS	AS	S1





# The Corporation of the Town of Milton

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Report To:	Committee of Adjustment and Consent
From:	Taylor Wellings, MSc (PI), MCIP, RPP
Date:	April 24, 2025
File No:	A-25-013M, A-25-014M, A-25-015M, A25-016M, A25-017M, A25-018M, A25-019M & A25-20M
Subject:	1345, 1349, 1353, 1357, 1361, 1365, 1369, 1373 Richardson Way

---

**Recommendation:** **THAT the application for minor variance BE APPROVED  
SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Q4A Architects Inc. and stamped by Town Zoning on March 5, 2025.
2. That a Building Permit be obtained within two (2) years from the date of the decision; and
3. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

## General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 016-2014, as amended, has been requested:

- To allow for an encroachment of 2.44 metres, a difference of + 0.94 metres.

The subject properties are known municipally as 1345, 1349, 1353, 1357, 1361, 1365, 1369 and 1373 Richardson Way which are identified as Lots 330-337 in Plan 24T-21001/M. The applicant proposes to construct single-detached dwellings on each of the identified lots. The applicant has requested a minor variance to allow for an increase in the maximum encroachment into the rear yard.

## Official Plan Designation (including any applicable Secondary Plan designations)

The subject property is designated as Residential Area on Schedule B - Urban Area Land Use Plan within the Town of Milton Official Plan and is further designated as Residential Area within the Boyne Survey Secondary Plan. This designation allows for a variety of residential uses. It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan.





# The Corporation of the Town of Milton

File #:  
A-25-013M, A-25-  
014M, A-25-  
015M, A25-016M,  
A25-017M, A25-  
018M, A25-019M  
& A25-20M  
Page 2 of 3

## Zoning

The subject lands are zoned site-specific Residential Medium Density (RMD1\*315-H58) under the Town of Milton's Urban Zoning By-law 016-2014, as amended. The RMD1\*315-H58 zone permits a variety of residential uses, including single-detached dwellings.

Section 4.19.5 i) Tabel 4H of the Town's Zoning By-law states that the maximum permitted distance a balcony can encroach into a required rear yard is 1.5 metres. The applicant is requesting permission to allow for an encroachment of 2.44 metres, a difference of + 0.94 metres, to facilitate the proposed design of each dwelling unit.

## Consultation

### *Public Consultation*

Notice for the hearing was provided pursuant to the Planning Act on April 8, 2025. As of the writing of this report on April 16, 2025, staff have not received any comments from members of the public.

### *Agency Consultation*

No objections were filed with respect to the variance application from Town staff or external agencies.

## Development Services Comments

The applicant has requested a minor variance to facilitate the construction of 8 single-detached dwellings on the above-noted identified lots on Richardson Way (24T-21001/M). The applicant is requesting permission to allow for an encroachment of 2.44 metres, a difference of + 0.94 metres, to facilitate the proposed design of each dwelling unit.

Due to the proposed dwellings, the deck is raised by one-storey and only accessed from the interior of the dwelling which is classified as a balcony. The proposed variance will allow for the deck to encroach further into the rear yard. The identified 8 lots will also back onto an environmental buffer block and therefore, the requested rear yard encroachment will not impact any residential properties to the rear.

Planning Staff are of the opinion that the requested variances are minor in nature, conform to the general intent of both the Official Plan and Zoning By-law and are desirable for the development and use of the subject property. As such, Planning Staff have reviewed the requested variances and offer no objection to their approval.





## The Corporation of the Town of Milton

File #:  
A-25-013M, A-25-  
014M, A-25-  
015M, A25-016M,  
A25-017M, A25-  
018M, A25-019M  
& A25-20M  
Page 3 of 3

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*Taylor Wellings*

Taylor Wellings, MSc (PI), MCIP, RPP  
Planner, Development Review

For questions, please contact:

Phone: Ext. 2311

Attachments
Figure 1 – Proposed Site Plan



**NOTE:**  
FOOTING DESIGN BASED ON MIN. 100  
KPA SOIL BEARING CAPACITY (SLS), SOIL  
ENGINEER TO VERIFY ON SITE

**NOTE:**  
PROVIDE SOLID BLOCKING EQUAL TO  
FLOOR JOIST DEPTH BETWEEN RIM  
BOARD AND FIRST JOIST AT 3'-0" O.C.  
FOR FLOOR JOIST PARALLEL TO WALL  
(TYP.)

**NOTE:**  
FLOOR FRAMING INFO REFER TO  
FLOOR MANUF. DRAWINGS FOR ALL  
JOIST INFORMATION AND DETAILS  
UNLESS OTHERWISE NOTED.

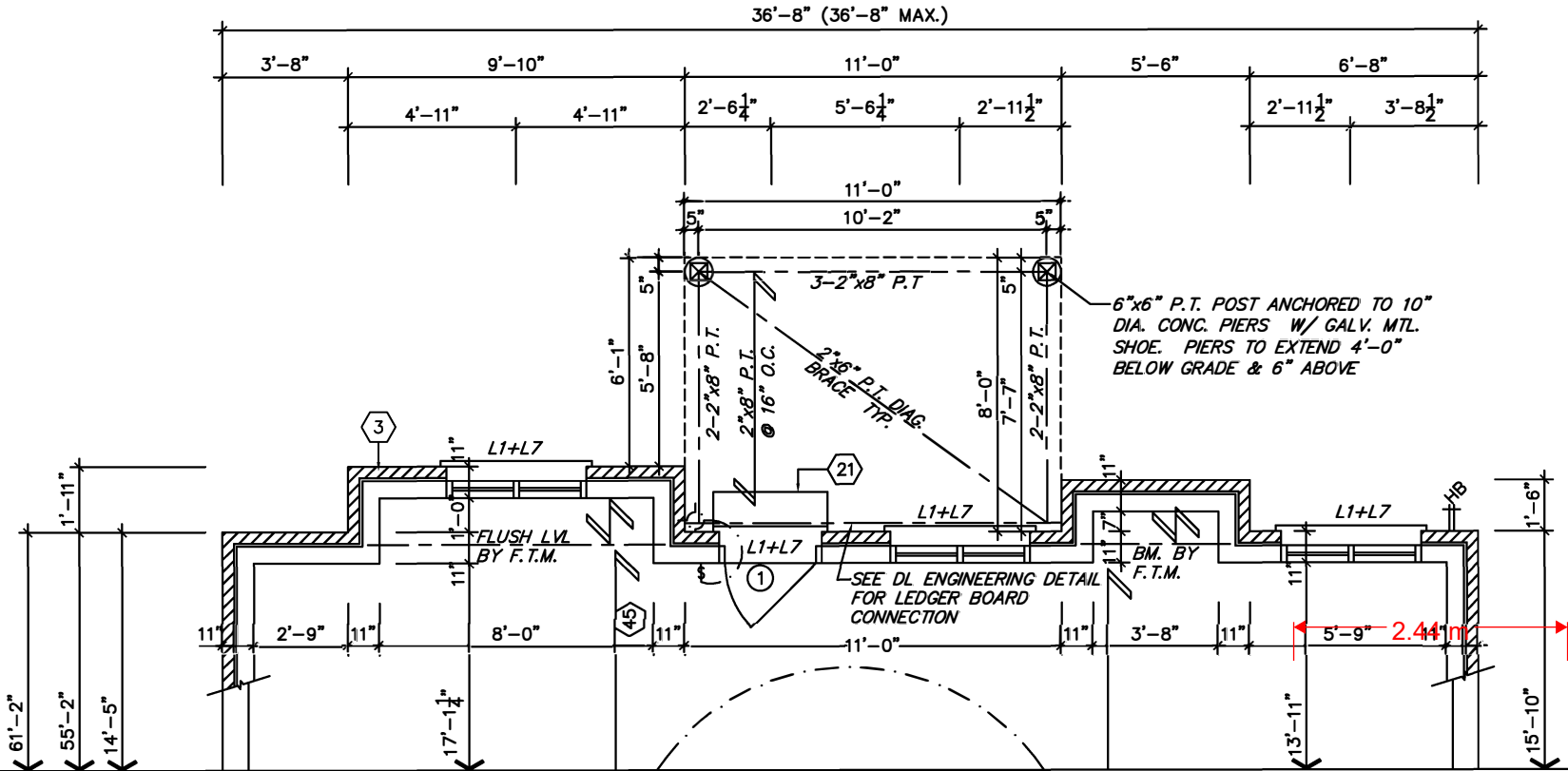
**NOTE:**  
**ALL DECK MATERIALS TO BE**  
**PRESSURE TREATED**

These drawings must be read in conjunction with  
Q4 standard construction details: **D1 to D28**

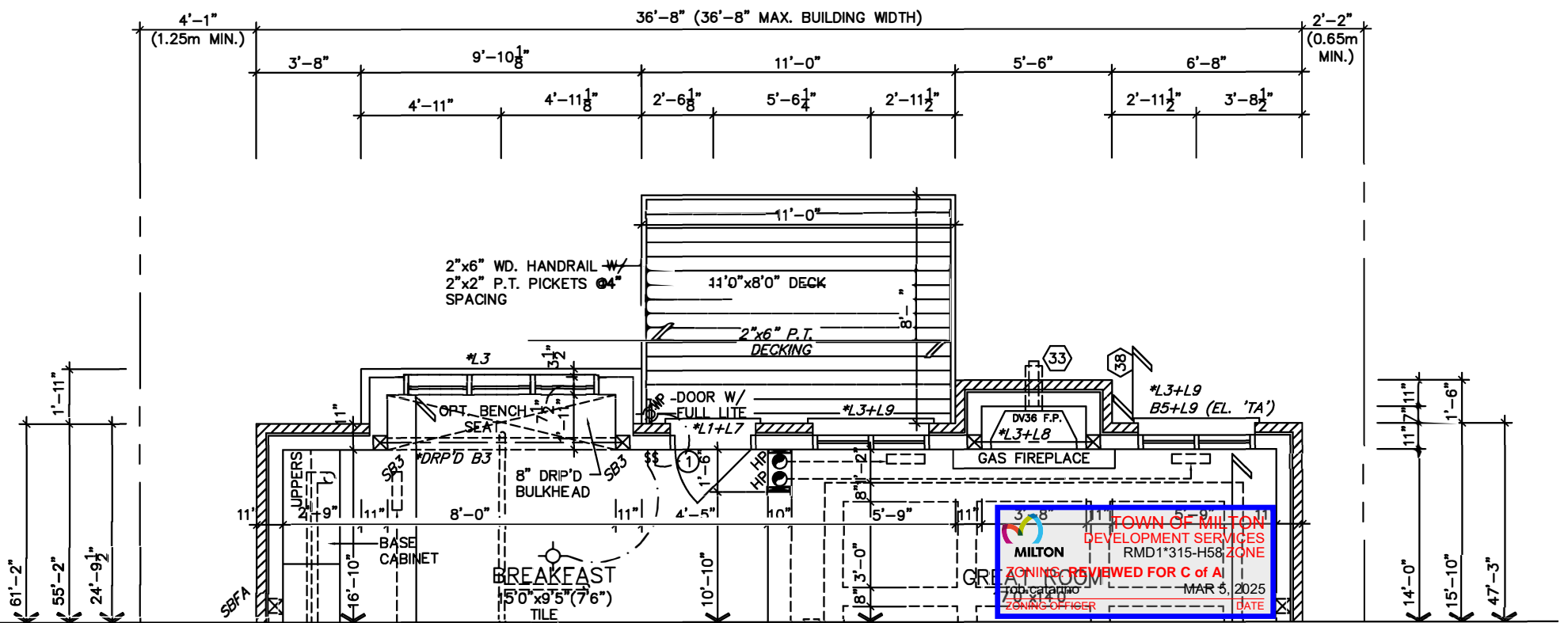
**NOTE:**  
PARTIAL PLANS/ ELEVATIONS SHOULD  
BE READ IN CONJUNCTION WITH FULL  
PLANS/ ELEVATIONS FOR THE  
APPLICABLE ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of MILTON.



PART. BASEMENT PLAN W/  
WALKOUT CONDITION



PART. GROUND FLOOR PLAN W/  
WALKOUT CONDITION

**Q4A**  
ARCHITECTS

**Q4 ARCHITECTS INC.**

4110 Yonge Street:  
Suite 602, Toronto ON.  
M2P 2B7

T. 416.322.6334  
F. 416.322.7294  
E. [info@q4architects.com](mailto:info@q4architects.com)

Q4 Architects Inc. retains the copyright in all drawings, plans, sketches, and all digital information. They may not be copied or used for any other projects or purposes or distributed without the written consent of Q4 Architects Inc.

The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

Issued / Revision Chart			
14	ISSUED FOR CONSTRUCTION	24.08.27	VT
13	ADD SUNKEN CONDITION	24.05.16	CP
12	REUSE SHOWER	24.02.22	HR
11	ISSUED FOR PERMIT	23.11.07	CP
10	RE-ISSUED FOR ENG.	23.10.26	CP
9	ISSUED FOR ENG.	23.10.08	CP
8	REVISED PER CLIENT COMMENTS	23.09.27	AS
7	PPO SCRUB APPLIED AS PER CLIENT	23.09.26	AS
6	REVISED AS PER CLIENT COMMENTS	23.09.08	AS
5	DETAIL TAGS REVISED	23.09.08	AS
4	ISSUED FOR CLIENT REVIEW	23.08.01	AS
3	EM C	23.08.28	AS
2	REVISED DETAIL TAGS	23.06.30	AS
1	INT RODUCED FROM 21026	23.06.28	CP

## WALKOUT CONDITION

**TOR PH. 1**

MILTON, ONTARIO

**MATTAMY**

## D43C

### THE ROSEBANK ELEVATION

Project No. **22039**

Scale  $3/16" = 1'-0"$

Drawn By **MO**

Checked By JS

# WO1





# The Corporation of the Town of Milton

---

Report To: Committee of Adjustment and Consent

From: Taylor Wellings, MSc (PI), MCIP, RPP

Date: April 24, 2025

File No: A-25-021M

Subject: 2310 Mohawk Trail

**Recommendation:** **THAT the application for minor variance BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the development shall be constructed in accordance with the site plan prepared by Jansen Consulting and dated and stamped by Town Zoning on January 17, 2025.
2. The development shall included downward facing lighting on the exterior of the garage as outlined in the EIA.
3. That a Building Permit be obtained within two (2) years from the date of the decision; and
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a Building Permit is not secured.

## General Description of Application

Under Section 45(1) of the Planning Act, the following minor variance to Zoning By-law 144-2003, as amended, has been requested:

1. To allow for an additional detached garage (+1 detached garage on a lot);
2. To allow for a garage door height of 3.05 metres (+ 0.65 metres);
3. To allow for a detached garage to be located in the front yard; and
4. To allow a detached garage to have a height of 6.2 metres (+ 1.9 metres).

The subject property is known municipally as 2310 Mohawk Trail. The subject property is west of Second Line Nassagaweya and surrounding uses are primarily agricultural and rural residential. The subject lands currently contain a single-detached dwelling as well as a one storey detached garage. The applicant is proposing to construct a second detached garage which will be two storeys. The applicant is requesting relief from the Town's Zoning By-law to allow for the additional detached garage and to seek special permissions for its proposed height as well as location on the subject property.



## General Description of Application

This application was brought forward to the Committee of Adjustment on February 27, 2025 and refused. Due to a procedural error, Planning staff have allowed for the application to be brought back to Committee.

## Official Plan Designation (including any applicable Secondary Plan designations)

The lands are designated as Greenbelt Protected Countryside and Greenbelt Natural Heritage System in the Greenbelt Plan. These policies permit existing uses and single detached dwellings on the lands, provided that they were permitted prior to the date that the Greenbelt Plan came into force. Expansions to existing buildings and structures and accessory structures are also permitted provided that new municipal services are not required and that the use does not expand into a key natural heritage future or key hydrologic feature, except if there is no other alternative. It is Staff's opinion that the proposal is in conformity with the Greenbelt Plan.

As of July 1, 2024, Halton Region has become an upper-tier municipality without planning responsibilities; however, the Regional Official Plan (ROP) remains in-effect and the local municipalities are responsible for administering the plan until such time that it is revoked or amended by the respective municipality.

The subject property is within the Regional Natural Heritage System as identified in the ROP and the entire property is mapped as being a Key Feature. Section 118(3) a) of the ROP that it is the policy of the Region to require the proponent of any development or site alteration that meets the criteria set out in Section 118(3.10) to carry out an Environmental Impact Assessment (EIA), unless the proponent can demonstrate to the satisfaction of the Region that the proposal is minor in scale and/or nature and does not warrant an EIA. Further, Section 139.3.6 [i] also states that it is the policy of the Region to permit without the requirement of an EIA the expansion of existing agricultural buildings and structures, residential dwellings and accessory uses to both, within Key Features, subject to there being no alternative and the expansion, alteration or establishment is directed away from the Key Features to the maximum extent possible. Based on a technical review of the application and EIA prepared by the applicant, Town staff are of the opinion that the proposed development does meet Regional policy. Additional commentary on the EIA is provided in the agency consultation section of this report.

The subject property is designated as Agricultural Area in the Town of Milton Official Plan. The Agricultural Area designation permits single-detached dwellings on existing lots as well as accessory buildings and structures. Section 4.9.3.2d) of the Town's Official Plan states that the proponent of any development or site alteration that meets the criteria set out in Section 4.9.3.3 is required to carry out an Environmental Site Assessment (EIA) unless the proponent can demonstrate to the satisfaction of the Town and Region that the proposal is minor in scale and/or nature and does not warrant an EIA. It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan



## Zoning

The subject lands are zoned Estate Residential Zone (RE). A single-detached dwelling is permitted on an existing lot of record within the RE Zone as well as accessory buildings and structures.

### Variance One: Additional Garage

Section 4.1.1.2, i) of the Town's Zoning By-law states that a garage or carport is permitted on a lot provided that an attached or detached garage or carport is not already located on the lot. The applicant has requested permission to allow for an additional garage, +1 detached garage on the subject property.

### Variance Two: Garage Door Increase in Height

Section 4.1.1.2, vi) of the Town's Zoning By-law states that a garage door shall not exceed 2.4 metres in height. The applicant has requested permission to allow for a garage door height of 3.05 metres, + 0.65 metres, to facilitate the proposal.

### Variance Three: Front Yard Location

Section 4.1.1.2.2, vi) of the Town's Zoning By-law states that a detached garage or carport shall be located in the interior side yard or rear yard of the lot only. The applicant has requested permission to allow for the detached garage to be located in the front yard, to facilitate the proposal.

### Variance Four: Garage Increase in Height

Section 4.1.1.2.2, ix) of the Town's Zoning By-law states that a detached garage or carport shall not exceed a height of 4.3 metres. The applicant has requested permission to allow a detached garage to have a height of 6.2 metres, + 1.9 metres, to facilitate the proposal.

## Consultation

### *Public Consultation*

Notice for the hearing was provided pursuant to the Planning Act on April 8, 2025. As of the writing of this report on April 16, 2025, staff have not received any comments from members of the public.

### *Agency Consultation*

No objections were filed with respect to the variance application from Town staff or external agencies.

### Halton Region

It is noted that the Region's Tree By-law (121-05) is not applicable when a Planning Act application has been submitted as it is then that applicable ROP policies do apply.

As part of the pre-submission minor variance process, Halton Region staff determined that the subject property is mapped as being a Key Feature of the Regional Natural Heritage System (RNHS). On February 7, 2024, Halton Region conducted a site visit to determine if the lands are part of a woodland, as defined by the Regional Official Plan (ROP). Following the site visit, the Region determined that an Environmental Impact Assessment (EIA) was required due to the presence of significant woodlands and potential significant wildlife as well as for habitat for



## Consultation

endangered and threatened species. The purpose of the EIA is to confirm the presence of a Key Natural Heritage Feature and its limits. The assessment also reviews and addresses any potential impacts that the proposed development may have on the candidate Key Natural Heritage Features.

In August 2024, the applicant provided Halton Region with an EIA (as prepared by Azimuth) which was reviewed by North South Environmental Inc. on behalf of Halton Region and a response was issued on October 18, 2024. Following this, Azimuth provided a response and updated EIA back to the Region for their review. North South Environmental Inc. reviewed the updated EIA and provided comments on January 10, 2025 which stated that they were not satisfied with the assessment of alternative locations for the proposed detached garage. On April 8, 2025, Azimuth issued a final EIA response and detailed policy analysis of the alternative locations for the proposed garage.

Town staff are of the opinion that the applicant has demonstrated that there are no other reasonable alternative locations for the proposed detached garage and the proposed location will have no negative impacts on the subject property given the mitigation measures outlined in the EIA. Town staff are satisfied that the three potential locations for the proposed detached garage have been studied sufficiently from both a non-natural heritage and natural heritage perspective.

The first alternative location that was considered was in close proximity to the front property line of Mohawk Trail and outside of the significant woodland which would require significant site works and a retaining wall due to the topography. This location would also require tree removal and a driveway extension. It should also be noted that from a planning perspective that the accessory structure should ideally be located in close proximity to the primary dwelling on the property to ensure its subordinate to the principle residential use.

The second alternative location would be within the woodland restoration area which would not be in close proximity to the primary residence and would also impact the woodland restoration area. It should also be noted that the rear yard contains an existing septic system and bed which deems it unable to be considered as another alternative location.

The third alternative location and option that the applicant has proceeded with will utilize the existing driveway area and the detached garage will be in close proximity to the existing development on site. Further, the EIA has confirmed that the proposed location with mitigation measures in place will not negatively impact the significant woodlands or linkage to the woodland restoration area. Town staff are satisfied that the applicant will ensure that the mitigation measures are in effect prior and during construction.

As noted above, Section 139.3.6 [i] of the ROP permits residential dwelling and accessory uses, within Key Features, subject to there being no alternative and the expansion, alternation or establishment is directed away from the Key Features to the maximum extent possible. Town staff are of the opinion that the applicant has demonstrated that the proposed location for the detached garage is the most efficient and logical location on the lands and that there is no other alternative location that would be more appropriate.



## Consultation

The EIA provided mitigation measures which the Town is satisfied will assist with ensuring there is no negative impact on the surrounding property. The EIA also recommended that the proposed detached garage include downward facing lighting on the exterior surfaces to reduce light spillages into the adjacent woodlands and Town staff have included this requirement as a condition of development approval.

It should also be noted that Regional staff did review the application and confirmed that they have no objection to the approval of this application and have provided the applicant with information on Source Water Protection for information purposes.

### Conservation Halton

The subject property is within the Conservation Halton (CH) watershed area but not within the regulated area for their review or comments.

## Development Services Comments

The applicant has requested a minor variance to facilitate the creation of a detached garage on the subject lands. The subject property currently contains a single-detached dwelling and one-storey detached garage. The applicant has requested this minor variance application to facilitate the construction of a second detached garage to provide additional storage and living space for the property owners.

### Variance One: Additional Garage

The applicant has requested permission to allow for an additional garage, +1 detached garage on the subject property. The applicant has expressed the need for additional storage and living quarters for their family as well as an area for a hobby workshop. Staff are of the opinion that the additional detached garage will not negatively impact the outdoor amenity space on the subject property or result in overdevelopment. The structure will remain clearly accessory to the primary permitted use.

### Variance Two: Garage Door Increase in Height

The applicant has requested permission to allow for a garage door height of 3.05 metres, + 0.65 metres, to facilitate the proposal. The increase in height for the garage door has been requested to allow for the homeowner to park a personal motorhome indoors. Staff are of the opinion that the increase in height for the garage door is minor in nature and have no concerns.

### Variance Three: Front Yard Location

The applicant has requested permission to allow for the detached garage to be located in the front yard, to facilitate the proposal. Staff are of the opinion that the proposed location is appropriate and in keeping with the existing development on the subject property. From a sightline perspective, the subject property is heavily wooded and the proposed location is set back sufficiently from the road and will not pose any concerns for surrounding property owners. Staff have no concerns with the proposed front yard location.

### Variance Four: Garage Increase in Height

The applicant has requested permission to allow for a detached garage to have a height of 6.2 metres, + 1.9 metres, to facilitate the proposal. Staff are of the opinion that the increase in height





# The Corporation of the Town of Milton

File #:  
A-25-021M  
Page 6 of 6

## Consultation

for the proposed detached garage is negligible given the size of the property as well as the heavily wooded environment. As noted above, the request for the increase in height for the garage and garage door is due to the need to park the homeowner's motorhome indoors. Staff do not have any concerns about the request for the height increase.

Planning Staff are of the opinion that the requested variances are minor in nature, conform to the general intent of both the Official Plan and Zoning By-law and are desirable for the development and use of the subject property. As such, Planning Staff have reviewed the requested variances and offer no objection to their approval as the increased height, additional garage and its location are not expected to negatively affect adjacent properties.

Respectfully submitted,

Taylor Wellings, MSc (PI), MCIP, RPP  
Planner, Development Review

For questions, please contact:

Phone: Ext. 2311


















































































## Attachments

Figure 1 - Proposed Site Plan



SITE PLAN OF  
LOT 3  
REGISTERED PLAN No. 20M-560  
TOWN OF MILTON  
REGIONAL MUNICIPALITY OF HALTON

### LEGEND

- |   |  |   |   |
|---|--|---|---|
|    | DENOTES HYDRO TRANSFORMER                  |  | DENOTES RAIN WATER LEADERS<br>DIRECTION & SPLASH PADS |
|    | DENOTES MANHOLE                            |  | ENTRY POINTS INTO BUILDING                            |
|    | DENOTES SINGLE CATCHBASIN                  |   |   |
|    | DENOTES HYDRO POLE                         |   | DIRECTION OF SURFACE FLOW                             |
|    | DENOTES LIGHT STANDARD                     |  | FINISHED MAIN FLOOR                                   |
|    | DENOTES SIGN                               |  | DROPPED OR SUNKEN FLOOR                               |
|    | DENOTES TELEPHONE CABLE MARKER             |  | TOP OF FOUNDATION WALL                                |
|    | DENOTES TELEPHONE PEDESTAL                 |  | FINISHED BASEMENT SLAB                                |
|    | DENOTES WATER VALVE MAIN SHUT OFF          |  | UNDERSIDE OF FOOTING                                  |
|    | DENOTES WATER BODY / CURB STOP             |  | UNDERSIDE OF FOOTING GRAPED FOR WALKOUTS, LOOKOUTS    |
|    | FIRE HYDRANT                               |   |   |
|    | GAS METER                                  |  | ENGINEERED FILLED LOT                                 |
|    | DENOTES OVERHEAD HYDRO WIRE                |  | HIGH POINT OF GRADE                                   |
|    | DENOTES UNDERGROUND HYDRO WIRE             |  | NUMBER OF RISERS                                      |
|    | DENOTES OVERHEAD TELEPHONE WIRE            |  | WALKOUT CONDITION                                     |
|    | DENOTES UNDERGROUND GAS LINE               |  | LOOKOUT LOCATION                                      |
|    | DENOTES OVERHEAD OR UNDERGROUND CABLE T.V. |  | REVERSE PLAN  |
|    | DENOTES BELL UNDERGROUND OR OVERHEAD       |  | WINDOWS OR DOORS ON WALL                              |
|    |  |  | SUMP PUMP   |
|    |  |  | DENOTES NEW GRADES                                    |
|    |  |  | DENOTES EXISTING GRADES                               |
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GENERAL NOTES :

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON THIS PLAN.

IT SHALL BE RESPONSIBILITY OF THE BUILDERS TO HAVE ALL GRADES VERIFIED AND CHECKED BEFORE CONSTRUCTION BY AN APPROVED GRADING ENGINEER. THESE GRADES AND THE PLACEMENT OF STORMS AND SANITARY SERVICES OFF THE STREET ARE TO MEET THE REQUIREMENT OF THE MUNICIPALITY HAVING JURISDICTION.

JANSEN CONSULTING IS TO BE NOTIFIED PROMPTLY UPON DETECTION OF ANY DISCREPANCIES AT LEAST 1 (ONE) WEEK BEFORE EXCAVATION COMMENCES IN ORDER THAT THE BUILDING CAN BE RESISTED FAILURE TO OBSERVE THESE CONDITIONS MAY REQUIRE MAY REQUIRE EXPENSIVE REMEDIAL ACTION THAT WILL NOT BE THE RESPONSIBILITY OF OR COST TO JANSEN CONSULTING FOUNDATIONS WALLS SHALL BE POURED TO A MINIMUM OF 6" ABOVE THE APPROVED GRADES.

FINISH GRADE LINES AS INDICATED ON THE HOUSE PROTOTYPE.

GARAGE FOOTINGS ARE TO BE EXTENDED TO ORIGINAL GROUND OR AS APPROVED BY SOILS ENGINEER.

LOCATES :

- PRIOR TO DIGGING LOCATES  
REQUIRED FOR SEWER IF APPLICABLE
- PRIOR TO DIGGING LOCATES  
REQUIRED FOR WATER IF APPLICABLE
- BEFORE DIGGING, UNDERGROUND SERVICES  
SHOULD BE LOCATED ON SITE BY  
THE RESPECTIVE AGENCIES.
- CALL LOCATES  
FOR ALL UNDERGROUNDS  
PRIOR TO EXCAVATION
- THE APPLICANT WILL BE REQUIRED TO CONTACT ALL  
UTILITY COMPANIES TO OBTAIN ALL REQUIRED  
LOCATES PRIOR TO INSTALLATION OF HOARDING  
IN IN MUNICIPAL RIGHT OF WAY

**KEY PLAN**  
N.T.S.

TEN SPRING RD  
GUELPH LINE  
2 LINE  
MOHAWK TRAIL  
HWY 401  
NO. 2310

**PROJECT:**  
2310 MOHAWK TRAIL  
MILTON, ON

- 
- Diagram illustrating the cross-section of a road showing various underground and surface features:
- SILTATION FENCING
  - TREE HOARDING
  - OW (Overhead Wire)
  - OW (Overhead Wire)
  - TOP OF BANK
  - W (Buried Water Service)
  - W (Buried Water Service)
  - SAN (Buried Sanitary Service)
  - SAN (Buried Sanitary Service)

GRADING NOTES:

1. EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.
2. BASEMENT OPENINGS TO BE MINIMUM 300MM ABOVE THE CENTERLINE OF ROAD UNLESS OTHERWISE APPROVED BY THE ENGINEER.
3. FINISHED FLOOR ELEVATIONS AT BUILDINGS ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225 ABOVE OVERLAND FLOW ROUTE ELEVATION.
4. SUMP PUMP MUST DISCHARGE DIRECTLY INTO MUNICIPAL STORM SEWER OR TO GRADE.
5. FINISHED GRADE TO BE MINIMUM 150MM FROM THE TOP OF FOUNDATION TO THE FINISHED GRADE OUTSIDE THE BUILDING MUST BE PROVIDED, TYP.
6. FINISHED FLOOR ELEVATION, UNDERSIDE OF FOOTING ELEVATION, BASEMENT WINDOW SILL ELEVATION, ETC. ARE TO BE CONFIRMED BY THE CONTRACTOR IN CONSULTATION WITH THE BUILDING DEPARTMENT ON THE MIN. TOP OF FOUNDATION ELEVATION PROVIDED.

NOTE: ALL LOCATES WILL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY HOARDING WITHIN MUNICIPAL RIGHT OF WAY

## FRAMED HOARDING

Technical drawing of a tree well cross-section. The drawing shows a tree well with a top width of 6'-7" (N.T.S.). The tree well is bounded by a 4'-0" MIN. concrete curb on both sides. The curb has a 1/3" TOP & BOTTOM RAIL and a 3" CLEARANCE. The curb is supported by METAL T-BAR SUPPORTS. A DRIP LINE is indicated on the curb. The curb is 4'-0" MIN. high. The tree well is filled with a 3" layer of material. The bottom of the tree well is at the EXIST. GRADE. The area below the tree well is labeled UNDISTURBED SUBGRADE.

SOLID BOARD HOARDING

N.T.S.

4"x4" WOOD POSTS / T-BAR SUPPORTS \*  
FIRMLY SECURED INTO UNDISTURBED SUBGRADE

7/16" X 4' X 8' PLYWOOD BOARDS  
SECURED FIRMLY TO WOOD  
POSTS/T-BAR SUPPORTS

2"x4" TOP AND  
BOTTOM RAIL

3" CLEARANCE

EXISTING GRADE

4'-0" MIN.

UNDISTURBED  
SUBGRADE

2310 MOHAWK TRAIL - PROP. DETACHED GARAGE

ITEM		ZONING BY—LAW REQUIREMENTS	PROPOSED
A	ZONING CATEGORY	RE	RE
B	LOT AREA	8000 M2	8100.44 M2
C	LOT COVERAGE TOTAL	810 M2 (10%)	378.7 M2 (4.67%)
D	PERCENTAGE OF LANDSCAPE	N/A	N/A
E	MAXIMUM BUILDING HEIGHT FROM GRADE	4.3 METERS ESTABLISHED GRADE TO MIDPOINT OF ROOF	6.20M
F	SIDE YARD SETBACKS	0.6M	10M & 43.91M
	HOUSE EXTERIOR	N/A	N/A
G	FRONT SETBACK	24M	29.22M
H	REAR SETBACK	1M	70.55M

\*\*\* VARIANCE REQUIRED FOR DETACHED GARAGE IN FRONT YARD, ALLOWING 2ND DETACHED GARAGE,  
GARAGE DOORS OVER 2.4M IN HEIGHT, AND BUILDING HEIGHT \*\*\*

I, JEFF JANSEN DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSEN CONSULTING UNDER DIVISION C, SUBSECTION 3.2.5 AND 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED SET OUT BY THE O.B.C. QUALIFIED DESIGNER BCIN - 30272 FIRM BCIN - 110042

DATE: DEC 17 24

SIGNATURE:



70 Main Street N., P.O. Box 38  
Campbellville, ON, L0P 1B0  
Ph. 905-854-9696  
Fax 905-854-9559  
Cell 905-815-3438  
EMAIL : [jeffjansendesign@gmail.com](mailto:jeffjansendesign@gmail.com)

TYPE : M-042

PROJECT :  
2310 MOHAWK TRAIL  
LOCATION :  
MILTON, ON

OWNERS INFORMATION :  
DOUG COOPER & TAMMY SAMUELS  
2310 MOHAWK TRAIL  
MILTON, ON

| SITE PLAN

\_\_\_\_\_


NO.	DATE	DESCRIPTION
REVISIONS		

**TOWN OF MILTON  
DEVELOPMENT SERVICES  
RE ZONE**

**ZONING: REVIEWED FOR C of A**  
 yaseen.albarim JAN 17, 2025  
 ZONING OFFICER DATE

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.