



1. AGENDA ANNOUNCEMENTS/AMENDMENTS

2. DISCLOSURE OF PECUNIARY INTEREST

3. HOUSEKEEPING ITEMS

4. APPROVAL OF MINUTES

- 4.1 Minutes of Milton Accessibility Advisory Committee held on December 10, 2024

5. PRESENTATIONS

6. ITEMS FOR CONSIDERATION

Graeme Paton, Planner - Site Plans

6.1 SP 01/25 - 8015 Lawson Rd

- Proposed new car dealership and repair facility.

6.2 SP 02/25 - DeMarchi Temporary Sales Centre

- Temporary sales office.

6.3 SP 24/24 - 8671 - 8751 Britannia Road

- Townhouse development containing 64 residential units.

6.4 SP 25/24 - 501 Ontario St

- Mid-rise residential development containing 231 units.

6.5 SP 26/24 - TOR Block 596

- Townhouse development containing 105 units.

6.6 SP 27/24 - TOR Block 597



The Corporation of the Town of Milton
Milton Accessibility Advisory Committee (MAAC)
Tuesday, March 18, 2025 at 1:00 PM.
Hybrid – Nassagewaya Room

- Townhouse development containing 92 units.

7. NEXT MEETING

7.1 TBA

8. ADJOURNMENT



Members Present: Councilor Challinor, Sahar Jamal, Nicole Murphy

1. AGENDA ANNOUNCEMENTS/AMENDMENTS

2. DISCLOSURE OF PECUNIARY INTEREST

3. APPROVAL OF MINUTES

3.1 Minutes of Milton Accessibility Advisory Committee held on October 10, 2024

4. PRESENTATIONS

5. ITEMS FOR CONSIDERATION

Graeme Paton, Planner - Site Plans

5.1 0 James Snow Parkway (North Side) - SP-19/24

- 1st submission comments issued November 18th, 2024
- Proposal: Two business park buildings with primary access from James Snow Parkway

Planner Paton provided an overview of the application

5.2 5195 25 Side Road - SP-20/24

- 1st submission comments issued November 20th, 2024
- Proposal: Single storey large animal hospital

Planner Paton provided an overview of the application

5.3 1526 Lower Base Line - SP-23/24

- 1st submission circulation out for comment
- Proposal: Accessory building for the sale of produce grown on the property

Planner Paton provided an overview of the application

6. NEXT MEETING

6.1 TBA

7. ADJOURNMENT



The Corporation of the Town of Milton
Milton Accessibility Advisory Committee (MAAC)
Thursday, December 10, 2024 at 10:00 A.M.
Hybrid – Nassagewaya Room

With there being no further business, the Chair adjourned at 10:32 A.M

SITE PLAN NOTES

UNDERGROUND SERVICES
ALL UNDERGROUND SERVICES, MATERIALS, AND INSTALLATION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS AND CODES.

GRADING
1. REFER TO SITE GRADING AND SERVICE PLAN DRAWING AS PREPARED BY XXX FOR ALL FINISHED GRADES, TOP OF FINISHED CURB / PAVEMENT ELEVATIONS, FINISHED FLOOR LEVELS OF BUILDING, CURBS / CURB DEPRESSIONS, ETC.
2. GRADES WILL BE MET WITHIN 3% MAXIMUM SLOPE AT THE PROPERTY LINES WITHIN THE SITE.

RETAINING WALLS
THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M (2.0 FT) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A THE PROPERTY LINE, IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT, AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

BUILDING ACCESS
FLUSH THRESHOLDS FOR ACCESS INTO THE BUILDING BY THE HANDICAPPED WILL BE PROVIDED.

CONCRETE CURBING
CONTINUOUS 150 MM HIGH BARRIER-TYPE POURED CONCRETE CURBING WILL BE PROVIDED BETWEEN ALL ASPHALT AND LANDSCAPED AREAS THROUGHOUT THE SITE UNLESS OTHERWISE NOTED.

PARKING
REQUIRED PARKING STALL AND TRAFFIC AISLE DELINEATIONS SHALL BE 100MM WIDE WHITE OR YELLOW MARKINGS.

SIGNAGE
1. SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF CURRENT TOWN OF MILTON SIGN BY-LAW, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.
2. PARKING STALLS RESERVED FOR DISABLED PERSONS SHALL BE IDENTIFIED BY A SIGN WITH A METAL POST AND A HANDICAP SYMBOL. SIGN IN ACCORDANCE WITH REGULATION 486, H.A. REFER TO LANDSCAPE DRAWINGS FOR DETAILS OF SIGNAGE.

FENCING
ALL FENCING LOCATED ADJACENT TO MUNICIPAL LAND IS TO BE LOCATED 150 MM INSIDE THE PROPERTY LINE.

ELECTRICAL
ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND SHALL NOT INFRINGE UPON THE ADJACENT PROPERTIES. REFER TO ELECTRICAL DRAWINGS AS PREPARED BY XXX.

FIRE DEPARTMENT
1. THE FIRE DEPARTMENT ACCESS ROUTE SHALL BE DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11363 KG PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M.
2. FIRE ROUTE TO BE DESIGNATED AS PER CURRENT TOWN OF MILTON BY-LAW AS AMENDED.

TRANSPORTATION & WORKS DEPARTMENT
1. AT THE ENTRANCES TO THE SITE THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE PROPOSED DRIVEWAYS AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
2. THE TOPS OF ANY CURBS BORDERING THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.
3. ALL SURFACE DRAINAGE IS TO BE SELF-CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
4. THE PORTIONS OF THE DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARD ARE TO BE PAVED BY THE APPLICANT.
5. SATISFACTORY ARRANGEMENTS ARE TO BE MADE WITH THE TRANSPORTATION AND WORKS DEPARTMENT FOR THE ERECTION AND MAINTENANCE OF HOARDINGS ADJACENT TO ALL EXISTING PROPERTIES THROUGHOUT ALL PHASES OF CONSTRUCTION.
6. THE MUNICIPAL SIDEWALK THROUGH ALL DRIVEWAY ACCESS ON STEELES AND FUTURE JAMES SNOW PARKWAY TO BE 200MM THICKNESS.
7. PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE, SNOW FENCE IS TO BE INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT ALL LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING, THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER OF DEVELOPMENT ENGINEERING.
8. SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS AND TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.
9. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICES DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSES OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT) AND SERVICING EXCAVATIONS WITHIN THE MUNICIPAL ROAD ALLOWANCE (ROAD OCCUPANCY PERMIT).

GENERAL NOTES

SURVEY AND TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEYOR'S TOPOGRAPHICAL DRAWING REFERENCE NO. XXX DATED XXX AND REGISTERED PLAN XXX DRAWING REFERENCE NO. XXX PLAN UPDATED AS PREPARED BY XXX LIMITED ONTARIO LAND SURVEYORS.

ALL ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO THE TOWN OF MILTON BENCH MARK # 92.01 BEING A BRASS PLAGUE IN A CONCRETE CYLINDER, FLUSH WITH GROUND LEVEL 22 METRES SOUTHWEST OF THE CENTRELINE OF LAWSON ROAD, 8 METRES NORTHEAST OF A CONCRETE CURB UNDER LAWSON ROAD ON THE NORTHEAST EDGE OF A GRAVEL DRIVEWAY SERVICING A DETENTION POND HAVING AN ELEVATION OF 213.115 METRES.

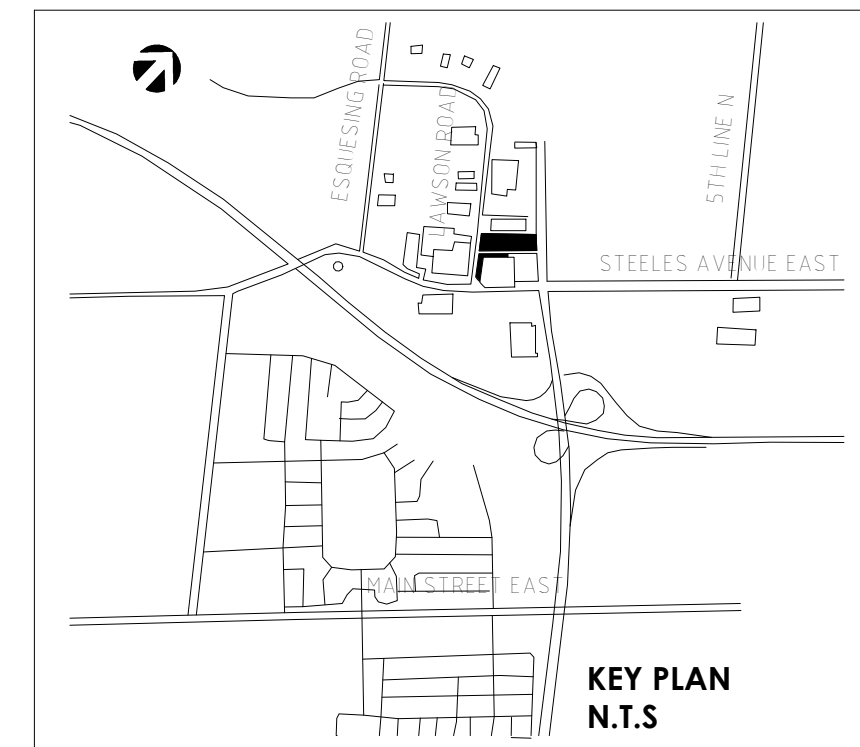
ALL UNDERGROUND UTILITIES SHOWN ON SURVEY DRAWING HAVE BEEN PLOTTED FROM INFORMATION TAKEN FROM AS BUILT DRAWINGS PREPARED BY XXX AND INFORMATION SUPPLIED BY XXX LOCATED BY THE APPROPRIATE UTILITY COMPANY SHOULD BE DONE PRIOR TO CONSTRUCTION OF ANY SORT.

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

FOR ALL LANDSCAPE DETAILS REFER TO LANDSCAPE DRAWINGS AS PREPARED BY XXX.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPING / SOD WORK AND ASPHALT PAVEMENT BEYOND PROPERTY LINES TO STREET CURBS AND/OR CURBS.

GENERAL CONTRACTOR TO LAY OUT STRUCTURE WITH ALL SETBACKS FROM PROPERTY LINES AND EASEMENTS & REPORT ANY DISCREPANCIES TO THE ARCHITECTS PRIOR TO ANY EXCAVATION WORK - ALL DIMENSIONS AND ASTRONOMIC BEARINGS SHALL BE CHECKED & VERIFIED BY A CERTIFIED C.L.S.

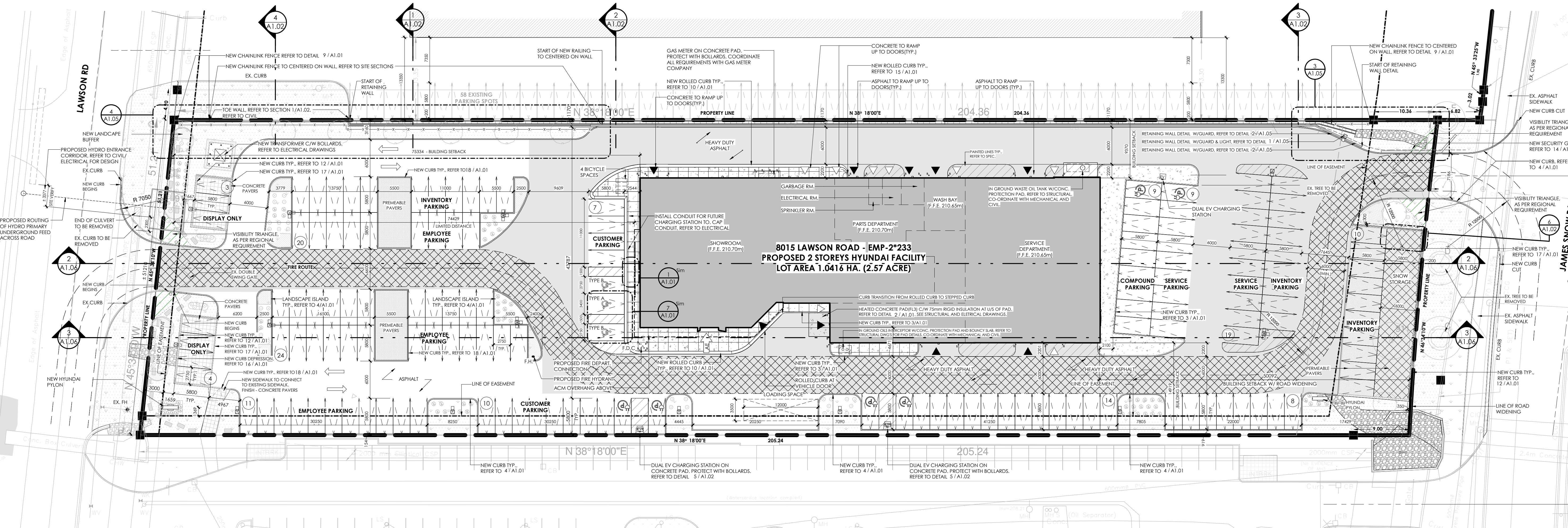


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DO NOT SCALE DRAWING. CONTRACTOR TO CHECK AND VERIFY DIMENSIONS ON SITE PRIOR TO EXECUTION OF THE WORK.

OWNER INFORMATION
NAME: AGCG Holdings Inc.
ADDRESS: 1245 Steeles Avenue E
MILTON, ON L9T 0K2
PHONE No: 000.000.0000



1 SITE PLAN
A1.00
1:325

SITE PLAN LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊙	BOLLARD	⊗	PARKING COUNT
•	BOLLARD LIGHT	■	CONCRETE SURFACE
■	CATCH BASIN	■	CONCRETE PAD WITH RADIANT HEATING
■	ELECTRIC VEHICLE CHARGING STATION	■	CONCRETE PAD WITH RADIANT HEATING
⊙	FIRE HYDRANT	■	MEDIUM DUTY ASPHALT
⊙	FIRE DEPARTMENT CONNECTION	■	HEAVY DUTY ASPHALT
⊙	HYDRO POLE	■	SOD
⊙	LIGHT STANDARD	—	PAINTED LINES
⊙	MAN HOLE	■	PRECAST CONCRETE PAVERS; REFER TO LANDSCAPE DRAWING
➔	MAIN BUILDING ENTRANCE	■	CONCRETE PAVERS; REFER TO LANDSCAPE DRAWING
⊙	MAN DOOR	—	FENCE
⊙	VEHICLE DOOR	⊙	EV CHARGING STATION
⊙	VEHICLE/MAN DOOR		
⊙	ACCESSIBLE ENTRANCE		
⊙	FIRE ROUTE SIGN		

SITE STATISTICS

MUNICIPAL ADDRESS: 8015 LAWSON ROAD, MILTON, ONTARIO

ZONING: EMP 2*233

LOT AREA: SUBJECT LOT - EXISTING 1,041.6 HA(2.57 ACRE)

LEGAL DESCRIPTION: PART OF LOT 13, REGISTERED PLAN 20M-451 SURVEY INFORMATION: CUNNINGHAM MCCONNELL LIMITED DATED: PRELIMINARY 21 OCTOBER 2019. REF. NO. REFERENCE PLAN 20R-20357, GEOGRAPHIC TOWNSHIP OF TRAFALGAR, TOWN OF MILTON

LOT COVERAGE (MAXIMUM BY-LAW No. 016-2014 - TABLE 8B):
- WITH MUNICIPAL SERVICING: NO MAXIMUM
- WITHOUT MUNICIPAL SERVICING: 35%

BUILDING AREA: 1,854.42 m²

PROPOSED LOT COVERAGE: 1,854.42 m² ÷ 10,693.68 m² = 17.34%

PROPOSED LOT COVERAGE WITH ROAD WIDENING: 1,854.42 m² ÷ 10,408.61 m² = 17.82%

NUMBER OF STOREYS: 2

GROSS FLOOR AREA:
GROUND FLOOR: 1,854.42 m²
2nd FLOOR - OFFICES: 441.94 m²
TOTAL GFA: 2,296.36 m²

FLOOR AREA RATIO: 2,296.36 m² ÷ 10,693.68 m² = 21.47%

FLOOR AREA RATIO WITH ROAD WIDENING: 2,296.36 m² ÷ 10,408.61 m² = 22.06%

BUILDING SETBACKS (BY-LAW No. 016-2014 - TABLE 8B):

	REQUIRED	PROPOSED
SOUTH (FRONT)	6.0 m	14.92 m
NORTH (REAR)	6.0 m	9.37 m
WEST (SIDE)	5.0 m	75.33 m
EAST (SIDE)	5.0 m	50.09 m

BUILDING HEIGHT (BY-LAW No. 016-2014 - TABLE 8B):
ALLOWABLE MAXIMUM PROPOSED BUILDING HEIGHT: 15.00 m / 8.9 m

LANDSCAPE BUFFER (BY-LAW No. 065-2016 / BY-LAW No. 016-2014 - TABLE 8B):

	REQUIRED	PROPOSED
SOUTH (FRONT) YARD	0.0 m	0.154 m / 0.919 m
NORTH (REAR) YARD	N/A	1.171 m / 3.16 m
WEST (SIDE) YARD	3.0 m	1.66 m
EAST (SIDE) YARD	N/A	6.00 m

LANDSCAPED OPEN SPACE (BY-LAW No. 016-2014 - TABLE 8B):
SITE AREA: 8,554.19 m²
REQUIRED MIN: 15.00% (1,283.12m²)
PROPOSED: 17.36% (1,485.33m²)

PARKING SETBACKS (BY-LAW No. 065-2016 / BY-LAW No. 016-2014 - TABLE 51):

	REQUIRED	PROPOSED
SOUTH (FRONT)	1.5 m	0.154 m / 0.919 m
NORTH (REAR)	1.5 m	1.171 m / 3.16 m
WEST (SIDE)	3.0 m	4.66 m
EAST (SIDE)	4.5 m	6.00 m

PARKING REQUIRED (BY-LAW No. 016-2014 - TABLE 5G/SH):
OFFICENABLES AREA: 1,245.90 m²
MINUS 10% AS PER 5.2: 1,245.90 m² - [1,245.90x0.10] = 1,121.31 m²
1 PARKING SPACE PER 30m²: 1,121.31m² / 30m² = 37 PARKING SPACES
SERVICE AREA: 13 BAYS
3 PARKING SPACES PER SERVICE BAY: 13 X 3 = 39 PARKING SPACES
TOTAL REQUIRED PARKING SPACES: 76 PARKING SPACES

NUMBER OF ACCESSIBLE PARKING REQUIRED: 48X 76 = 3 8F PARKING SPACES = 1 TYPE A & 2 TYPE B

BICYCLE PARKING REQUIRED (BY-LAW No. 016-2014 - TABLE 5I):
3% OF REQUIRED PARKING SPACES = .03 X 76 = 3 PARKING SPACES
PROPOSED PARKING SPACES: 4 PARKING SPACES
(SEE LANDSCAPE DRAWING FOR DETAILS)

PARKING PROVIDED:
REGULAR SPACES: 136 PARKING SPACES
(NOT INCLUDING 10 DISPLAY TANDEM PARKING SPACES & 9 COMPOUND PARKING SPACES)
B.F. SPACES: 3 PARKING SPACES
TOTAL PARKING SPACES PROVIDED: 139 PARKING SPACES

LOADING SPACES (BY-LAW No. 016-2014 - TABLE 5J):
REQUIRED: 1
PROPOSED: 1

Rev	Description	YYYY/MM/DD
1	ISSUED FOR PERLIMINARY DESIGN REVIEW	2024/06/06
2	ISSUED FOR PERLIMINARY SPA REVIEW	2024/04/17
3	ISSUED FOR PRELIM. REVIEW	2024/04/27
4	ISSUED FOR PRELIM. REVIEW	2024/07/03
5	ISSUED FOR PRELIM. REVIEW	2024/07/18
6	ISSUED FOR PRELIM. REVIEW	2024/07/18
7	ISSUED FOR COORDINATION	2024/10/24
8	ISSUED FOR COORDINATION	2024/11/22
9	ISSUED FOR COORDINATION	2024/11/28
10	ISSUED FOR COORDINATION	2024/12/02
11	ISSUED FOR COORDINATION	2024/12/04
12	ISSUED FOR COORDINATION	2024/12/09
13	ISSUED FOR COORDINATION	2024/12/10
14	ISSUED FOR COORDINATION	2024/12/12
15	ISSUED FOR SPA	2024/12/13

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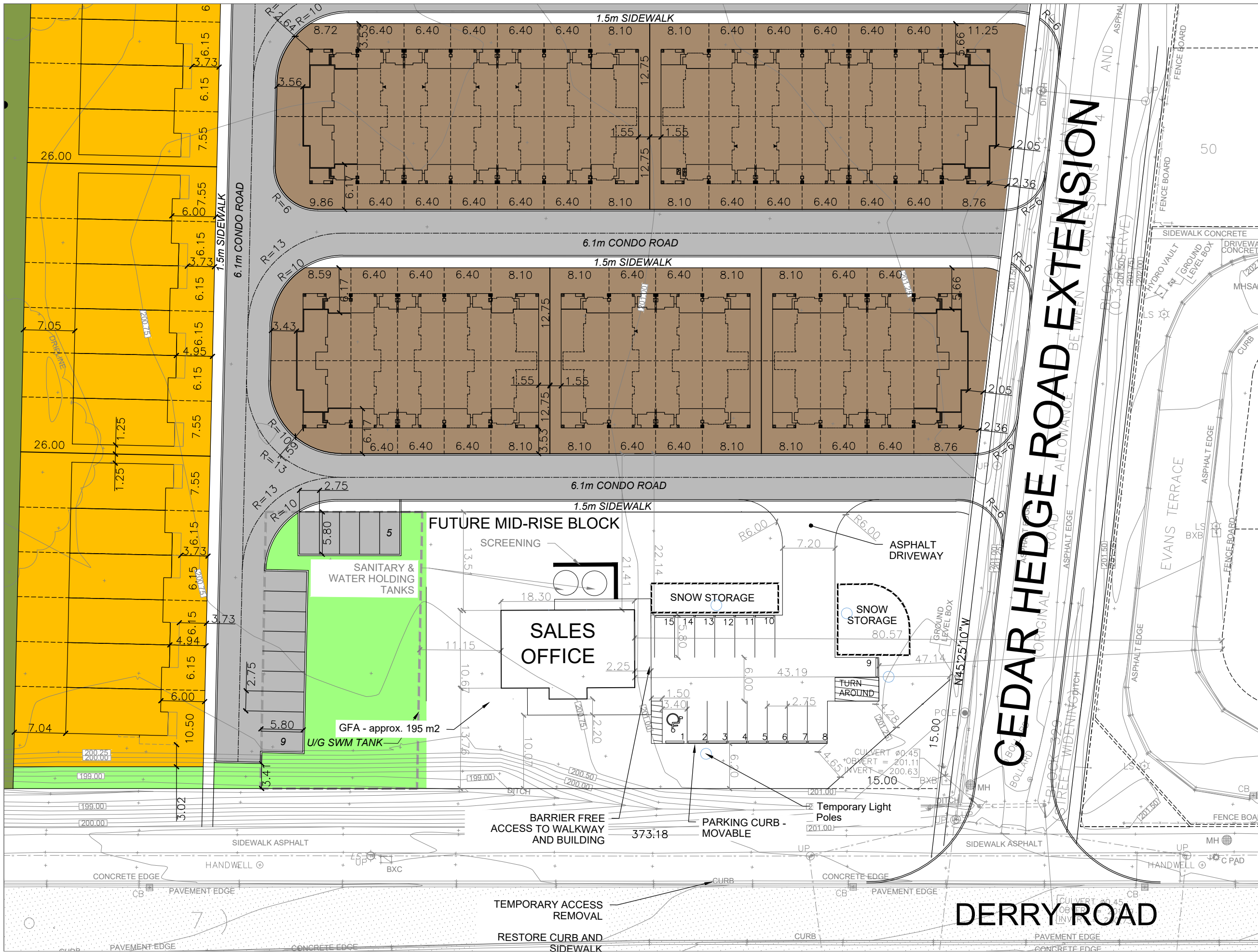
RH CARTER ARCHITECTS
3250 Bloor St. West, Suite 400, Toronto, Ontario M8X 2Y9
p. 1.416.233.5583 f. 416.233.5585 www.rhcarter.com

MILTON HYUNDAI

8015 LAWSON RD, MILTON, ON

SITE PLAN

PROJECT No: 2021.019
SCALE: As indicated
DATE: Issue Date
DRAWING No: **A1.00**
SITE PLAN APPLICATION No: 000000000



ZONING MATRIX	REQUIRED	PROVIDED
Setback from Front Yard (DERRY RD)		9.76 m
Setback from Side Yard (CEDAR HEDGE RD)		43 m
Setback from Rear Yard (CONDO ROAD)		17.51 m
Sales Office Setback from Existing Residential	30 m	25.41 m
Parking Lot Setback from Existing Residential	6 m	22.14 m
Parking Spaces	7	15
Barrier Free Parking	1	1

SCALE 1:500

NO.	DATE	BY	DESCRIPTION
3	JAN/25	CR	ISSUED FOR SITE PLAN APPROVAL
2	DEC/24	CR	ISSUED FOR INTERNAL REVIEW
1	OCT/24	CR	ISSUED FOR SITE PLAN PRE-CONSULTATION

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

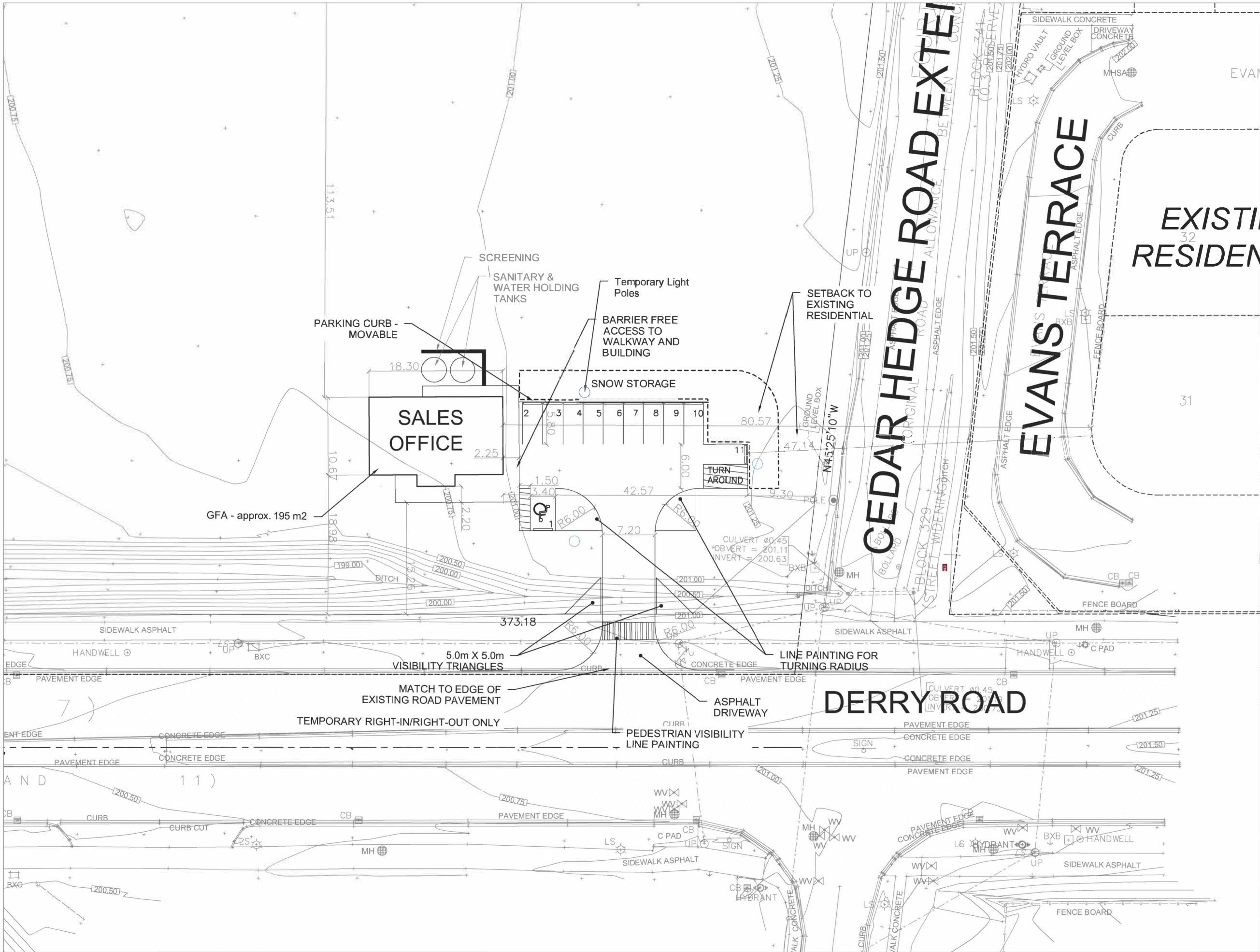
DESIGN BY: C. RAUSCHER CHECKED BY:
DRAWN BY: C. RAUSCHER DATE: JANUARY 27, 2025

PROJECT:
9755 DERRY RD. - DEMARCHI SALES OFFICE

OWNER:
BRANTHAVEN FOURTH LINE INC.

TITLE:
DEMARCHI SALES OFFICE FINAL ACCESS CONDITION

720 OVAL COURT
BURLINGTON, ON, L7L 6A9
905-333-8364



ZONING MATRIX	REQUIRED	PROVIDED
Setback from Front Yard (DERRY RD)		15 m
Setback from Side Yard (CEDAR HEDGE RD)		43 m
Setback from Rear Yard		117.5m
Sales Office Setback from Existing Residential	30 m	80 m
Parking Lot Setback from Existing Residential	6 m	47 m
Parking Spaces	7	11
Barrier Free Parking	1	1

SCALE: 1:500

NO.	DATE	BY	DESCRIPTION
3	JAN/25	CR	ISSUED FOR SITE PLAN APPROVAL
2	DEC/24	CR	ISSUED FOR INTERNAL REVIEW
1	OCT/24	CR	ISSUED FOR SITE PLAN PRE-CONSULTATION

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

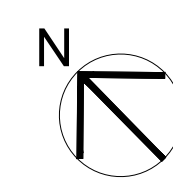
DESIGN BY: C. RAUSCHER CHECKED BY:
DRAWN BY: C. RAUSCHER DATE: JANUARY 27, 2025

PROJECT: 720 OVAL COURT
BURLINGTON, ON, L7L 6A9
905-333-8364

PROJECT: 9755 DERRY RD. - DEMARCHI SALES OFFICE

OWNER: BRANTHAVEN FOURTH LINE INC.

TITLE: DEMARCHI SALES OFFICE INTERIM ACCESS CONDITION



ISSUANCES:
SPA SUBMISSION DEC 12, 2024

PROPOSED RESIDENTIAL
DEVELOPMENT
8671-8751 BRITANNIA RD,
MILTON, ON L9T 7E7

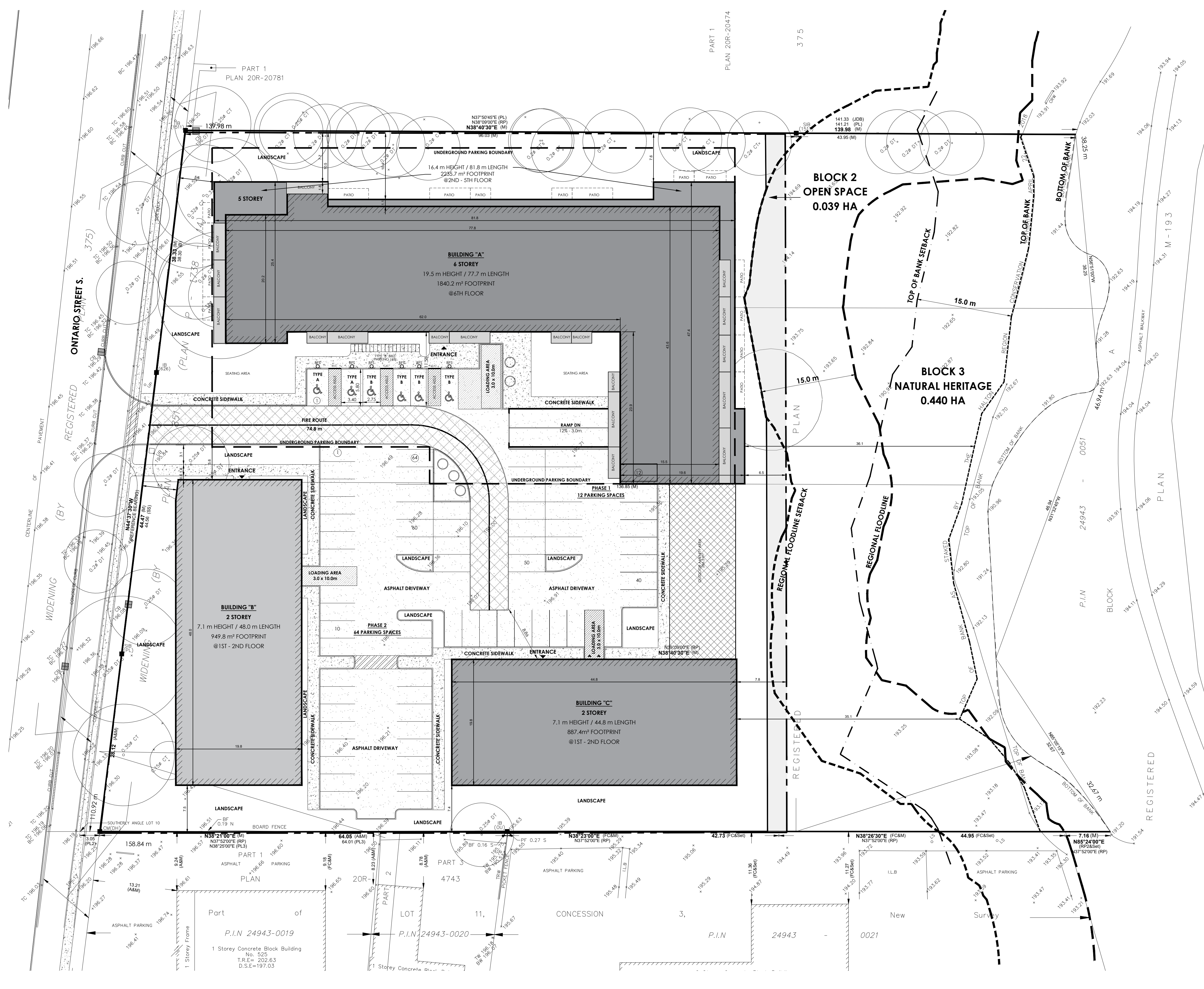
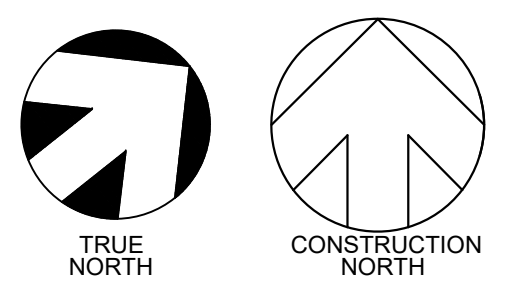
SITE PLAN

Project No.: 2409
Scale: 1:300 (24x36)
Date: DEC 12, 2024
Drawn by:

Drawing No.:

A1.02

UNDERLAID:
ACAD-2022-0239-10_GRD_COPY-Model



OWNERS:	APPLICANT:
	REINDERS + LAW LTD. 64 ONTARIO STREET NORTH, MILTON ON L9T 2T1 P (905)457-1618 F (905)457-8852

LEGEND:	
	PROPERTY LINE
	STACKED TOP OF BANK (HRCA, April 2018)
	15m OFFSET TO STACKED TOP OF BANK
	REGIONAL FLOODLINE
	15m OFFSET TO REGIONAL FLOODLINE
	UNDERGROUND PARKING BOUNDARY
	BLOCK 2 - OPEN SPACE
	PROPOSED FIRE ROUTE (USING HEAVY DUTY PAVING)
	HEAVY DUTY PAVING
	LIGHT DUTY PAVING
	CONCRETE PAD OR SIDEWALK
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE CURB WITH CURB CUT OR DEPRESSED CURB
	C/C OR D/C
	NEW BUILDING AREA (FOOTPRINT)
	EXISTING CHAIN LINK FENCE
	PROPOSED BOARD FENCE
	PRINCIPAL ENTRANCE TO THE BUILDING
	SECONDARY ENTRANCES TO, OR EGRESSES FROM THE BUILDING
	FIRE ROUTE SIGNS
	BARRIER FREE SIGNS (RB93)
	BARRIER FREE LOGO (PAVED ON ASPHALT)

SITE STATISTICS:		
ITEM	EXISTING ZONING BYLAW REQUIREMENTS	PROPOSAL
ZONING CATEGORY	RHD*336-H79	RHD*336-H79
LOT AREA (sqm)	N/A	15,885.7 sq.m
MIN. LOT WIDTH (m)	54 m	156.84 m
GROUND FLOOR AREA (sqm)	N/A	3,928.9 sq.m
LOT COVERAGE	42%	24.7%
FRONT YARD (min.)	5.5 m	5.5 m
REAR YARD (min.)	6.5 m	35.1 m
SIDE YARD (min.) NORTH	7.5 m	7.5 m
SIDE YARD (min.) SOUTH	7.5 m	7.5 m
LANDSCAPED AREA (min.)	N/A	55.9% (8,893.7 sq.m)
PARKING SPACES DIMENSION	5.8 m x 2.75 m	5.8 m x 2.75 m
NUMBER OF PARKING SPACES - RESIDENTIAL	297 (1.29/unit)	297 (1.29/unit)
1.0 PARKING SPACE PER DWELLING UNIT	237	237
0.25 VISITOR PARKING SPACE PER DWELLING UNIT	60	60
ACCESSIBLE PARKING SPACES DIMENSION		
TYPE A	5.8 m x 3.4 m	5.8 m x 3.4 m
TYPE B	5.8 m x 2.75 m	5.8 m x 2.75 m
NUMBER OF ACCESSIBLE PARKING SPACES	8	8
2% OF REQUIRED + 2		
LOADING SPACE DIMENSION	3.5 m x 12.0 m	3.0 m x 10.0 m
BICYCLE PARKING SPACE	1.8 m x 0.6 m	1.8 m x 0.6 m
BIKE PARKING	125	134
0.5 LONG TERM BICYCLE PARKING SPACE/LAUNT	114	118
0.05 SHORT TERM BICYCLE PARKING SPACE/LAUNT	11	16
BUILDING HEIGHT	22.0 m	19.5 m
MAX UNITS	296	224

no. revisions date init.

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date plotted 2024-12-09 plot scale 1:1

drawn AC
designed KR
reviewed KR
date 2024-12-09
scale 1:300
project

501 ONTARIO ST. N.
MILTON, ON

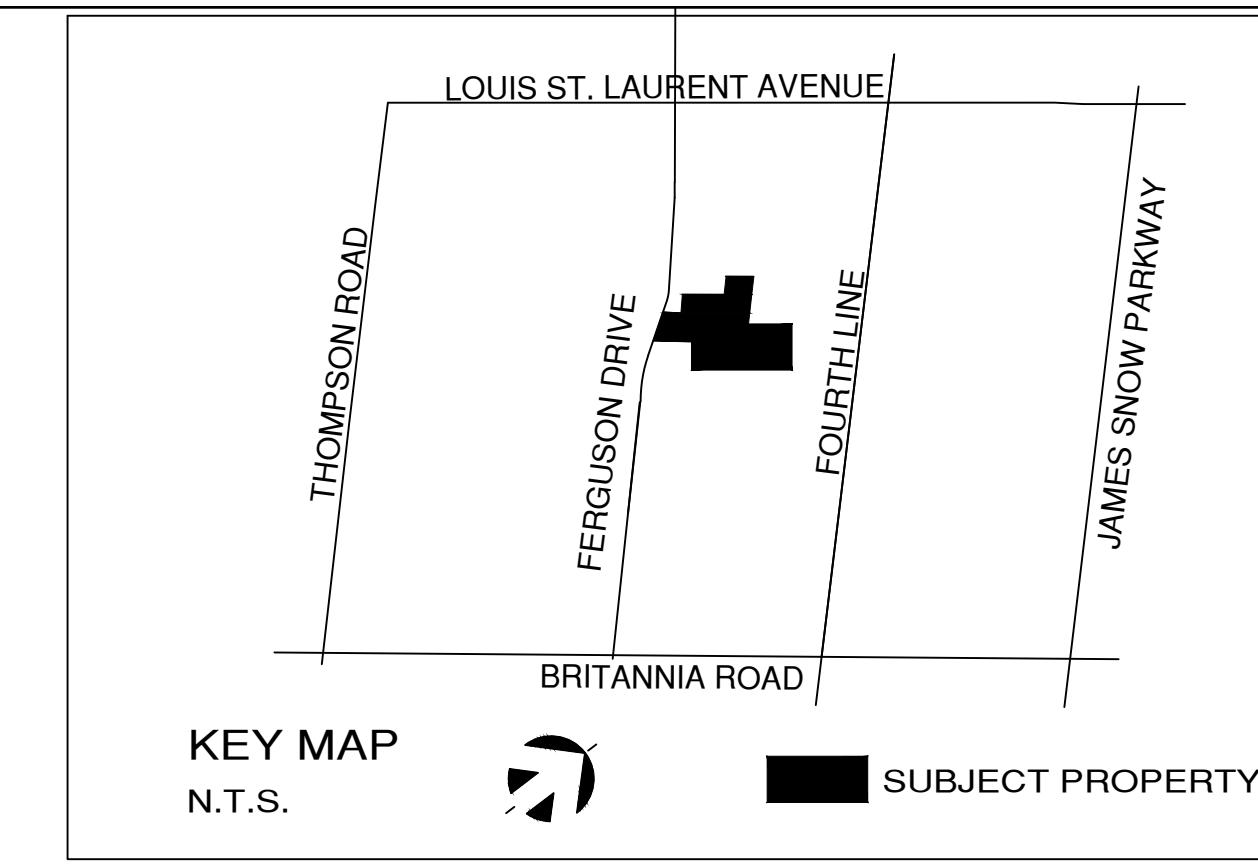
drawing ARCHITECTURAL SITE PLAN

REINDERS + LAW

ARCHITECTURE + ENGINEERING
REINDERS + LAW LTD.
ARCHITECTURE + ENGINEERING
64 ONTARIO STREET NORTH
MILTON, ON L9T 2T1
T. 905.457.1618 F. 905.457.8852
EMAIL@REINDERS.CA WWW.REINDERS.CA

NOTES:		[KSP]	
● LP	LIGHT POLE	AIR SOURCE HEAT PUMP	
◇ H	HYDRANT	FF	FINISHED FLOOR ELEVATION
◊	TRANSFORMER	UF	UNDERSIDE FOOTING ELEVATION
◊	WATER SERVICE	BF	FIN. BASEMENT FLOOR SLAB
◊	DOUBLE STM. CONNECTION	TFW	TOP OF FOUNDATION WALL
◊	DOUBLE SAN. CONNECTION	UFR	UNDERSIDE FOOTING AT REAR
◊	SINGLE STM. CONNECTION	UFT	UNDERSIDE FOOTING AT FRONT
◊	SINGLE SAN. CONNECTION	W.O.D.	WALK OUT DECK
◊	CATCH BASIN	W.O.B.	WALK OUT BASEMENT
◊	EXTERIOR DOOR LOCATION	—H—	HYDRO SERVICE LATERAL
◊	(R= No. OF RISERS)	—E—	EMBANKMENT 3:1 SLOPE
◊	SIDE WINDOW LOCATION	REV	REVERSE PLAN
◊	SWALE DIRECTION	S.S.	SNOW STORAGE AREA
◊	PROPOSED VALVE	Ra-1	STOP SIGN (SEE TRAFFIC CONTROL PLAN)
◊	SUPER MAIL BOX	—	DEPRESSED CURB (SEE ENGINEERING DRAWINGS)
◊	CABLE TELEVISION PEDESTAL		
◊	BELL PEDESTAL		
		1.8m	1.8m PRIVACY FENCE (SEE LANDSCAPE PLAN)
		1.2m	1.2m METAL FENCE (SEE LANDSCAPE PLAN)
		2HR	2HR FIREWALL
		---	CONDO BOUNDARY
		26	LEGAL LOT NUMBER CROSS REFERENCE TO ARCHITECTURAL DRAWINGS
		(14)	UNIT NUMBERS
			DRIVEWAY APRON
			1.0M PATIO STONES
			3.0M WALKWAY
			7.0M STREET TOWNS
			0.3M RESERVE

SITE STATISTICS		BLOCK 443	
ITEM	PROPOSED	REQUIRED	
A. ZONING CATEGORY	RMD2 (335) H34-H78 MEDIUM DENSITY 2		
B. LOT AREA	1.742 Ha 4.30 Ac		
C. UNITS			
REAR LANE TOWNS	47		
BACK TO BACK	58		
TOTAL UNITS	105		
D. GROUND FLOOR AREA	61 UNITS/Ha		
E. TOTAL GROSS FLOOR AREA	7699.9m ²		
F. LOT COVERAGE	49.5% (8625.6m ²)	NO MAX	
G. PARKING SPACES	210	210 (2 SPACES/UNIT)	
VISITOR PARKING	20 SPACES	27 SPACES	
REQUIRED 105 UNITS X 0.25/UNIT			
H. NO OF ACCESSIBLE PARKING SPACES	1	1	
I. PERCENTAGE OF LOT COVERED BY PARKING, LANES AND ACCESS	32.0% (5578m ²)		
J. PERPENDICULAR PARKING STALL DIMENSIONS	2.75m x 5.80m	2.75m x 5.8m	
PARALLEL PARKING STALL DIMENSIONS	2.75m x 5.80m	2.75m x 6.5m	
TYPE A ACCESSIBLE PARKING STALL DIMENSIONS	3.4m x 5.80m	3.4m x 5.80m	
K. PERCENTAGE OF LANDSCAPED AREAS	17% (2961.4m ²)	NO MINIMUM	
L. MAXIMUM BUILDING HEIGHT			
i) PRINCIPAL BUILDING	11.0m	12.50m	
ii) ACCESSORY BUILDING	N/A	N/A	
M. TYPICAL DRIVEWAY WIDTH	3.15M	3.1M (MIN.)	



Q4 ARCHITECTS INC.

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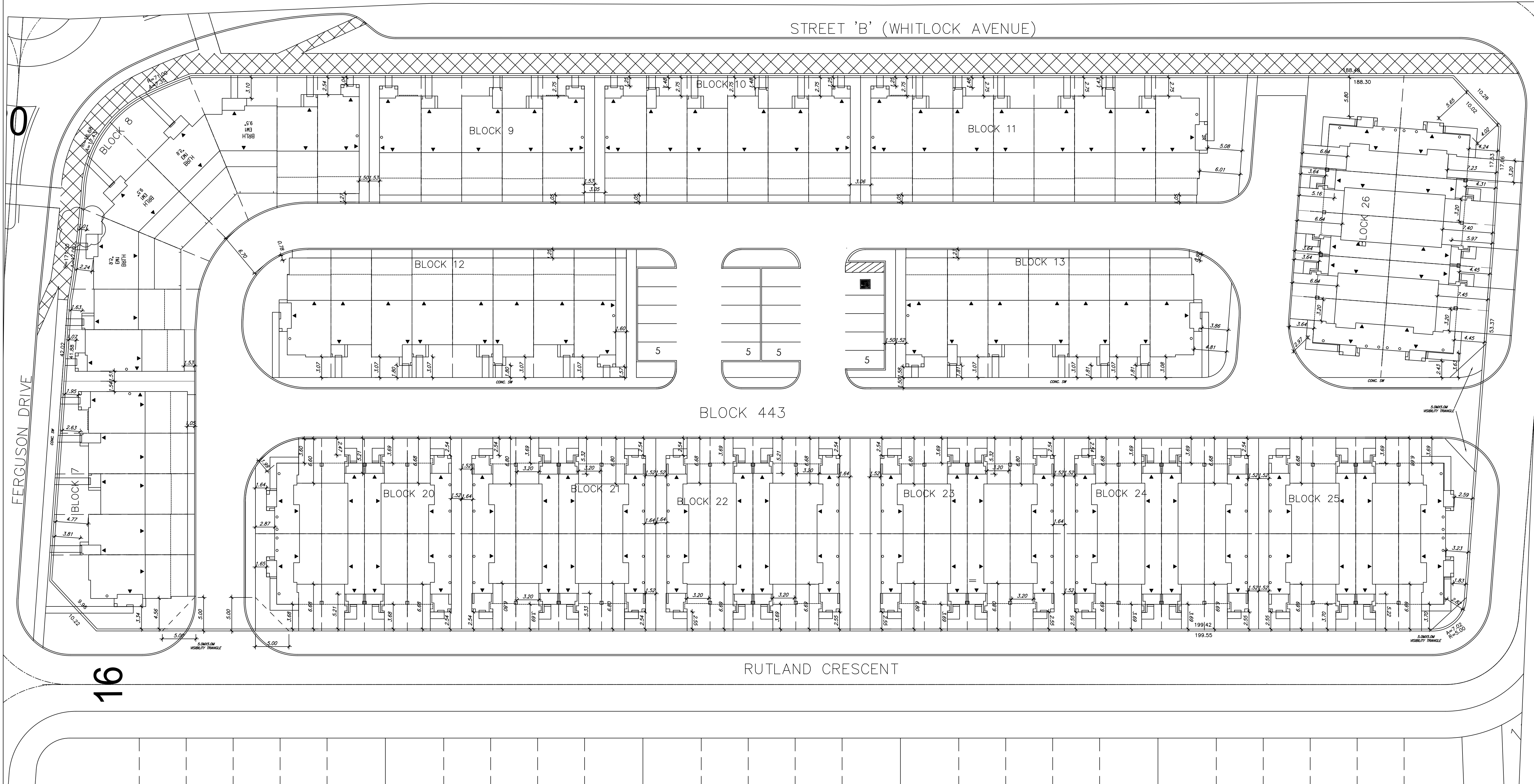
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The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work.

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1	ISSUED FOR SITE PLAN APPROVAL	2024.12.04	MB
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Issued / Revision Chart

TOR PH 5
BLOCK 443
REAR LANE AND VILLAGE TOWNHOUSES CONDOMINIUM

MILTON, ON.

Mattamy Homes

Project No.	24032
Scale	1:250
Drawn By	MB
Checked By	MB

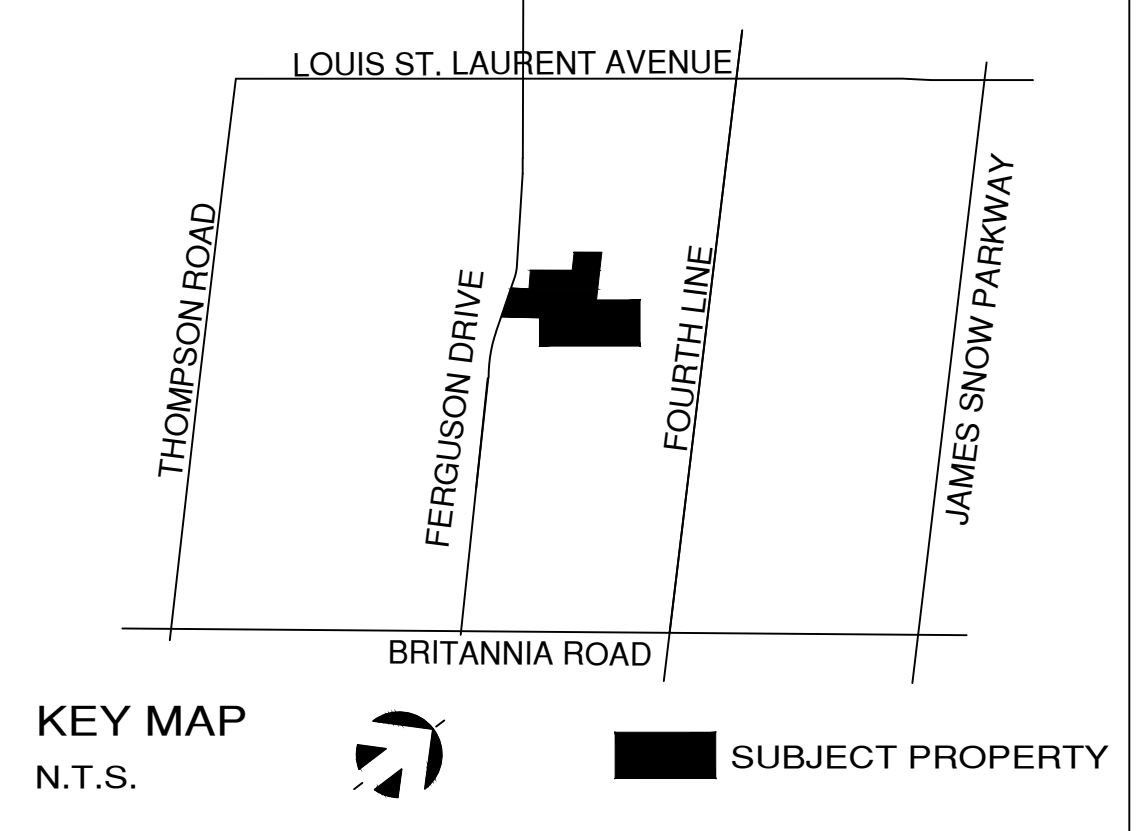
SITE PLAN BLOCK 443

16

ZILIO TERRACE

FERGUSON DRIVE

STREET 'M'



Q4 ARCHITECTS INC.

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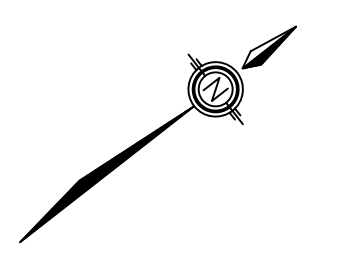
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- NOTES:
- LP LIGHT POLE
 - H HYDRANT
 - ⊕ TRANSFORMER
 - ⊖ WATER SERVICE
 - ⊕ DOUBLE STM. CONNECTION
 - ⊖ DOUBLE SAN. CONNECTION
 - ⊕ SINGLE STM. CONNECTION
 - ⊖ SINGLE SAN. CONNECTION
 - CBX CATCH BASIN
 - △ EXTERIOR DOOR LOCATION (R = No. OF RISERS)
 - SIDE WINDOW LOCATION
 - SWALE DIRECTION
 - ⊕ PROPOSED VALVE
 - MAIL SUPER MAIL BOX
 - ⊕ CABLE TELEVISION PEDESTAL
 - BELL PEDESTAL
 - ASHP AIR SOURCE HEAT PUMP
 - FF FINISHED FLOOR ELEVATION
 - UF UNDERSIDE FOOTING ELEVATION
 - BF FIN. BASEMENT FLOOR SLAB
 - TFW TOP OF FOUNDATION WALL
 - UFR UNDERSIDE FOOTING AT REAR
 - UFF UNDERSIDE FOOTING AT FRONT
 - W.O.D. WALK OUT DECK
 - W.O.B. WALK OUT BASEMENT
 - HYDRO SERVICE LATERAL
 - EMBANKMENT 3:1 SLOPE
 - REVERSE PLAN
 - S.S. SNOW STORAGE AREA
 - STOP SIGN (SEE TRAFFIC CONTROL PLAN)
 - DEPRESSED CURB (SEE ENGINEERING DRAWINGS)
 - DRIVEWAY APRON
 - 1.0M PATIO STONES
 - 3.0M WALKWAY
 - 7.0M STREET TOWNS
 - 0.3M RESERVE
- 26 LEGAL LOT NUMBER
CROSS REFERENCE TO ARCHITECTURAL DRAWINGS
- 14 UNIT NUMBERS

SITE STATISTICS		BLOCK 444	
ITEM	PROPOSED	REQUIRED	
A. ZONING CATEGORY	RMD2 (335) H34-H78 MEDIUM DENSITY 2		
B. LOT AREA	1,529 Ha 3,78 Ac		
C. UNITS			
REAR LANE TOWNS	32		
BACK TO BACK	60		
TOTAL UNITS	92		
DENSITY	60.2 UNITS/Ha		
D. GROUND FLOOR AREA	6627.6m ²		
E. TOTAL GROSS FLOOR AREA	14481.3m ²		
F. LOT COVERAGE	48.7% (7446.8m ²)	NO MAX	
G. PARKING SPACES	184	184 (2 SPACES/UNIT)	
VISITOR PARKING			
REQUIRED 92 UNITS X 0.25/UNIT)	17 SPACES	23 SPACES	
H. NO OF ACCESSIBLE PARKING SPACES	1	1	
I. PERCENTAGE OF LOT COVERED BY PARKING, LANES AND ACCESS	27.2% (4160m ²)		
J. PERPENDICULAR PARKING STALL DIMENSIONS	2.75m x 5.80m	2.75m x 5.80m	
PARALLEL PARKING STALL DIMENSIONS	2.75m x 5.80m	2.75m x 5.80m	
TYPE A ACCESSIBLE PARKING STALL DIMENSIONS	3.4m x 5.80m	3.4m x 5.80m	
K. PERCENTAGE OF LANDSCAPED AREAS	27% (4128m ²)	NO MINIMUM	
L. MAXIMUM BUILDING HEIGHT	11.0m	12.50m	
i) PRINCIPAL BUILDING	N/A	N/A	
ii) ACCESSORY BUILDING			
M. TYPICAL DRIVEWAY WIDTH	3.15M	3.1M (MIN.)	

TOR PH 5
BLOCK 444

REAR LANE AND VILLAGE
TOWNHOUSES
CONDOMINIUM

MILTON, ON.

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Scale 1:250
Drawn By MB
Checked By MB

SITE PLAN BLOCK 444

SP.1