



The Corporation of the
Town of Milton
Committee of Adjustment and Consent

Thursday, September 29, 2022, 6:00 p.m.

Zoom

Pages

1. **AGENDA ANNOUNCEMENTS / AMENDMENTS**
2. **DISCLOSURE OF PECUNIARY INTEREST**
3. **REQUESTS FOR DEFERRAL OR WITHDRAWAL OF APPLICATIONS**
 - 3.a. A22-074M 4375 Random Acres Road
This minor variance will not be heard by the Committee.
 - 3.b. A22-075M 11151 First Line, Moffat
This minor variance will not be heard by Committee.
4. **MINUTES**
5. **ITEMS FOR CONSIDERATION**
 - 5.a. A22-070M - 24 Martin Street (Retained) 3
A minor variance has been requested to allow support of a consent application, due to existing site conditions (Retained Parcel).
 - 5.b. A22-071M - 24 Martin Street (Severed Lands) 9
A minor variance has been requested in support of a consent application, due to existing site conditions (Severed Parcel).
 - 5.c. A22-072M - 422 Gowland Crescent 15
A minor variance has been requested to increase total gross floor area of accessory structures.
 - 5.d. A22-073M - 33 Victoria Street 24
A minor variance has been requested for a residential addition and detached garage.
 - 5.e. A22-076M - 750 Whitlock Avenue 43
A minor variance has been requested for a new development consisting of six (6) proposed apartment buildings and 1 amenity building.
6. **NEW BUSINESS**
7. **NEXT MEETING**

8. ADJOURNMENT

Note: Should the livestream of this meeting be interrupted due to technical reasons, a recording of the meeting's proceedings will be posted to the Town website as soon as reasonably possible.



Memorandum to Committee of Adjustment Members

Minor Variance Application: A-22-070/M - 24 Martin Street (Retained Parcel)

General Description of Application:

Under Section 45(1) of the *Planning Act*, the following minor variances to Zoning By-law 016-2014, as amended, has been requested:

- To allow a two way driveway to have a minimum width of 2.5 metres accessing a parking area, whereas 6.0 metres is currently required (a reduction of 3.5 metres).
- To allow a drive aisle width of 2.5 metres where parking spaces are provided, whereas 6.0 metres is currently required (a reduction of 3.5 metres).
- To allow a 0.0 metre parking area setback to a lot line, whereas 1.5 metres is currently required (a reduction of 1.5 metres).

The subject property is known municipally as 6-20 Martin Street; 217-227 Main Street. Surrounding land uses include commercial and residential.

The owners of the property, Gen Three Limited, are seeking variances as a condition of undisputed Consent Application B22-005. As part of estate management purposes, the consent application was to create a new lot (24 Martin Street - severed lot) and associated permanent access right-of-ways. A related minor variance application A-22-071/M is being considered concurrently to accommodate the deficiencies required for the severed lands.

Official Plan Designation (including any applicable Secondary Plan designations):

The subject property is designated as Central Business District in the Town of Milton Official Plan on Schedule B 'Urban Area Land Use Plan'. Section 3.5 sets out that this area will serve as a focal area that accommodates commercial, cultural and residential uses.

It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan, as amended. It conforms to the Central Business District designation in that it supports commercial and residential use.

Zoning:

The subject lands are zoned as Central Business District Core Commercial (CBD-A) zone within the Town of Milton Urban Zoning By-law 016-2014, as amended. Within this zone, uses such as upper-floor dwelling units, office use, office building, and personal service shop are provided.

To facilitate the consent application and lot creation, the following variances are required:

Section 5.6.1 ii) Table 5B requires that a two way driveway have a minimum width of 6.0 metres, whereas 2.5 metres is being requested.

Section 5.7 5C requires that a minimum drive aisle width of 6.0 metres where parking spaces are provided, whereas 2.5 metres is being requested.

Section 5.12 Table 5L requires that a minimum setback of 1.5 metres be provided from the parking area to the lot line, whereas 0.0 metres is being requested.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the *Planning Act* on, September 8, 2022. As of the writing of this report on, September 22, 2022, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

The property is regulated by Conservation Halton (CH). However, CH understands that the minor variances are to recognize existing conditions that have occurred as a result of the consent application and that no development is proposed on site. As the subject is entirely within the Regulatory floodplain of Sixteen Mile Creek, any future development on these lands would be limited, highly restricted and a CH permit would be required in accordance with applicable policies.

Planning and Development Department Comments:

The applicant has requested a minor variance to facilitate the final approval of a consent application (B-22/005/M) which results in no physical changes on the subject property. As a result of the proposed consent, variances are required as the retained lot and severed lot have a number of zoning by-law deficiencies given the subject property layout and existing siting.

The proposed lot line, as identified on the sketch provided, is to be located in the middle of the existing driveway access off of Martin Street. The creation of the lot line therefore adjusts both the retained and severed lots' property boundaries and alters how existing zoning provisions are applied.

The existing siting on both the severed and retained lands will not be altered - the variances identified address the deficiencies created as a result of the new lot line. The shared access off Martin Street will provide access to both the retained and severed lot - while the new property boundary technically establishes this access point as two driveways (previously interpreted as one), it will remain functional for both properties, via permanent right-of-ways, as if it was one driveway. The establishment of two driveways therefore requires that relief be granted as it relates to driveway width, drive aisles and setbacks to lot lines.

Given shared access via permanent right-of-ways has been created through the consent application, Planning Staff are of the opinion that the variances being requested for the retained property is negligible. The driveway will offer ample width for vehicular access,

both from an ingress and egress perspective. Further, the drive aisle maintains the same functionality as the aforementioned.

Overall, Planning Staff have reviewed the variances being requested and offer not objections. There are no physical changes occurring as a result of the variances and the consent application - further, any future development would be extremely restricted due to Conservation Halton regulations. From this perspective, any impact of the variances are negligible. Therefore, Planning Staff confirm that the variances are minor in nature, are desirable for the development of the subject lands, conform to the Official Plan and maintain the intent of the Zoning By-law.

Recommendation:

THAT the application for minor variance BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

1. That the approval be subject to an expiry of two (2) years from the date of decision or if the proposed consent application is not granted final approval within such time.

Rachel Suffern

Rachel Suffern, MPA, M.Sc.
Planner, Development Review

September 22, 2022



Town of Milton
150 Mary Street
Milton, ON L9T 6Z5

T 905-878-7252
www.milton.ca

Committee of Adjustment & Consent

PUBLIC HEARING NOTICE

Minor Variance Application

Town File: A22/070/M

TAKE NOTICE that pursuant to S.45 of the *Planning Act*, R.S.O. 1990, C.P.13, as amended, this application will be considered by the Milton Committee of Adjustment and Consent starting at 6:00 p.m. on Thursday, September 29, 2022 by live-streaming on the Town of Milton's YouTube Channel at <http://www.youtube.com/c/townofmiltonontario>.

You are receiving this notice because the applicant submitted a minor variance application to the Town of Milton. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres of the area to which the application applies. Further details on this application, including drawings, can be viewed by contacting the Secretary Treasurer, noted below.

Application Details: The property owner of 24 Martin St (6-20 Martin Street; 217-227 Main Street; Retained Parcel) (PLAN 36 LOTS 8-11 & ALLEY PLAN 68 LOTS 2-6 PART OF PT1 MARTIN'S SVY PT LOT 1 BLK 5 RP 20R10393 PART 1) in the Town of Milton under Section 45(1) of the *Planning Act*, is requesting the Committee of Adjustment to authorize a minor variance to permit Variance in support of a consent application, due to existing site conditions (Retained Parcel). Therefore, the following variance to Zoning By-law 016-2014, as amended, is required:

No.	Zoning By-law Regulation	Variance Request
1.	Zoning: CBD-A Section 5.6.1 ii) Table 5B The By-law states that a minimum two way driveway width of 6.0 metre, accessing a parking area.	To permit a minimum two way driveway width of 2.5 metres (a difference of -3.5 metres)
2.	Zoning: CBD-A Section 5.7 Table 5C The By-law states a minimum drive aisle width of 6.0 metres, where parking spaces are provided	To permit a minimum drive aisle width of 2.5 metres
3	Zoning: CBD-A Section 5.12 Table 5L The By-law states a minimum 1.5 metre parking area setback to a lot line.	To permit a minimum 0.0 metre (a difference of -1.5 metres) parking area setback to a lot line.

Due to the COVID-19 pandemic, attendance at Town Hall is restricted and public meetings are being held by videoconference only. Instructions on how to view the meeting or participate by written submission, videoconference or telephone are provided below.

Get Involved: The community is invited to virtually attend and/or participate in the statutory public hearing. You can fill out the delegate request form at milton.ca/delegations. For assistance filling out the form, email townclerk@milton.ca or call 905-878-7252 ext. 0. Forms must be submitted by noon on Tuesday, September 27, 2022.

Provide written comments	By email (preferred) to the Secretary-Treasurer noted below. Include your name, address, application number or address of the property to which you are providing comments. To allow all Committee Members the opportunity to review comments, please provide all written submission no later than Monday, September 26, 2022.
Speak/present to Committee:	Fill out the delegate request form by 12 p.m. on Tuesday, September 27, 2022 to register as a delegate and speak at the meeting via audio or video.
Dial in to the Hearing:	If you miss the delegate request deadline, you can request to make an oral submission during the meeting by dialing in to the dedicated phone number at 1-866-511-0021 or emailing townclerk@milton.ca .

Review the electronic delegate meeting guide at milton.ca/delegations before submitting your request. Town staff will contact you with further instructions. You will be given step-by-step instructions on how to enter and participate in the meeting. Those who register during the course of a live meeting will not have the ability to provide on-screen presentations due to the absence of prescreening. All written submissions received will be forwarded to Council following the meeting.

If you have received this notice and are an owner of a property and said property contains seven (7) or more residential units, you are required to post this notice in a location that is visible to all the residents.

Contact: Please contact the Secretary-Treasurer, as noted below, if wish to be notified of the Committee's decision of this application. This will also entitle you to be advised of any future Local Planning Appeal Tribunal proceedings.

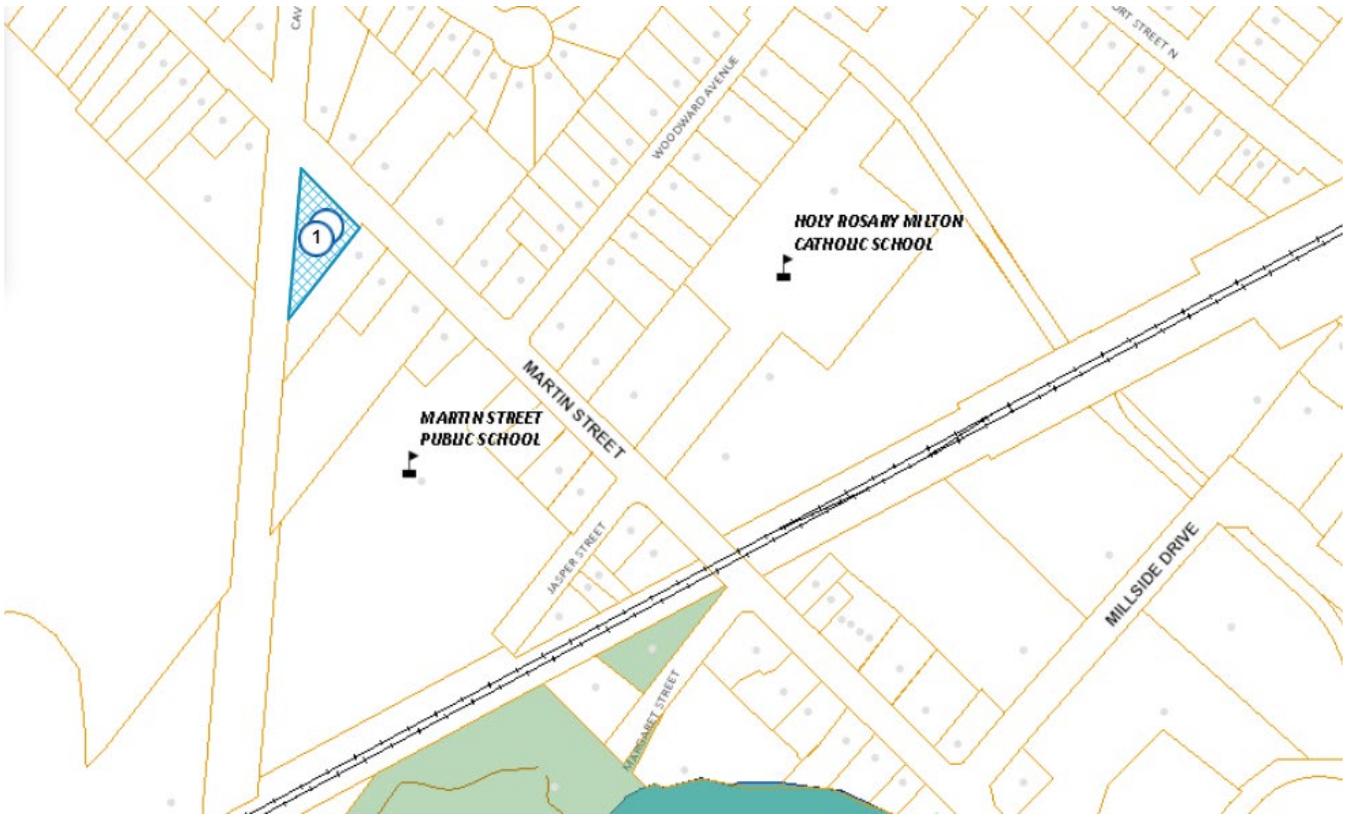
Personal information is collected under the authority of the *Planning Act*, and may be contained in an appendix to the staff report, published in the meeting agenda, delegation list and/or the minutes of the public meeting and made part of the public record. The Town of Milton collects this information in order to make informed decisions on the relevant issues and to notify interested parties of Committee's decisions. It may also be used to serve notice of a Ontario Land Tribunal hearing. The disclosure of this information is governed by the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56. Questions about this collection and disclosure should be directed to the Committee of Adjustment and Consent Office, Development Services Department, 150 Mary Street, Milton, ON L9T 6Z5 or 905-878-7252.

Catherine Susidko

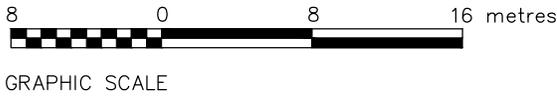
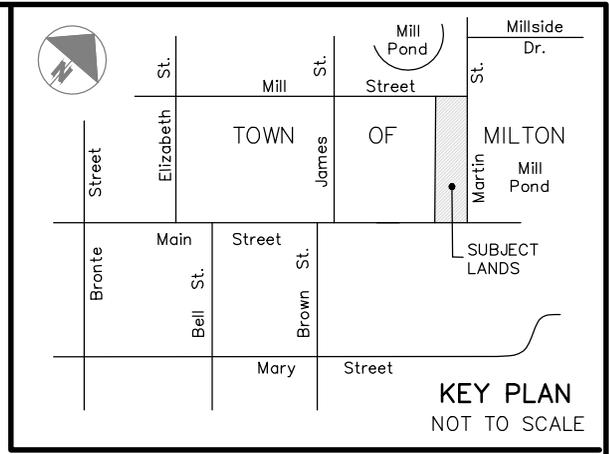
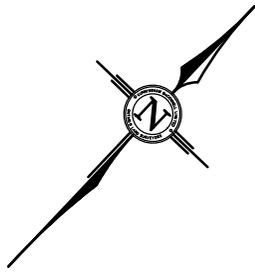
Catherine Susidko
Secretary-Treasurer, Committee of Adjustment and Consent
☎ 905-878-7252, ext. 2315 ✉ catherine.susidko@milton.ca

Date: Thursday, September 8, 2022

LOCATION MAP:



LAND DIVISION SKETCH OF
PART OF LOT 1
BLOCK 5
REGISTERED PLAN 6 (MARTIN'S SURVEY)
 AND
LOTS 8, 9, 10 & 11
 AND
PART OF THE ALLEY
 (NOW CLOSED BY BY-LAW)
REGISTERED PLAN 36
 AND
PART OF LOT 1
 AND
LOTS 2, 3, 4, 5, 6, 7, 8 & 9
REGISTERED PLAN 68
TOWN OF MILTON
 REGIONAL MUNICIPALITY OF HALTON
SCALE 1:400



LEGEND

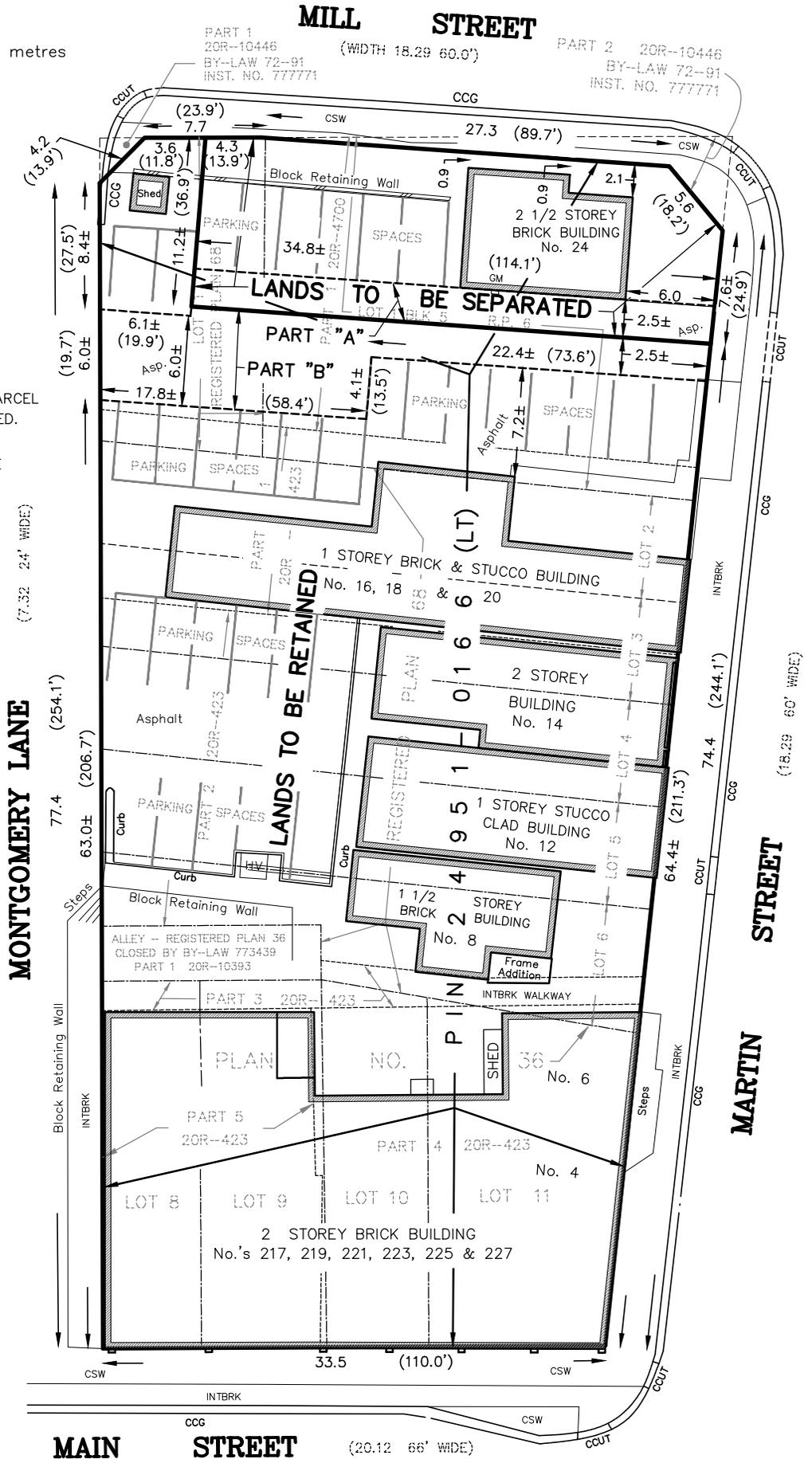
CCG	DENOTES CONCRETE CURB & GUTTER
CSW	DENOTES CONCRETE SIDEWALK
CCUT	DENOTES CURB CUT
GM	DENOTES GAS METER
INTBRK	DENOTES INTERLOCKING BRICK
HV	DENOTES HYDRO VAULT

- NOTES:**
- 1) A RIGHT OF WAY IS TO BE GRANTED OVER PARCEL "A" IN FAVOUR OF THE LANDS TO BE RETAINED.
 - 2) A RIGHT OF WAY IS TO BE GRANTED OVER PARCEL "B" IN FAVOUR OF THE LANDS TO BE SEPARATED

AREA'S

LANDS TO BE RETAINED =	0.26 HA.
	(0.6 AC.)±
LANDS TO BE SEPARATED =	0.04 HA.
	(0.1 AC.)±
PART "A" =	0.01 HA.
	(0.02 AC) ±
PART "B" =	0.02 HA.
	(0.04 AC) ±

ZONING:
 ZONING = CBD-A



TOWN OF MILTON
DEVELOPMENT SERVICES
 CBD-A ZONE

ZONING: REVIEWED FOR C of A
 sherri.jamieson AUG 11, 2022
 ZONING OFFICER DATE

CAUTION:
 THIS IS NOT A PLAN OF SURVEY AND CANNOT
 BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

NOTE:
 THIS SKETCH IS PREPARED FROM COMPILED REGISTRY OFFICE
 AND CALCULATED INFORMATION, NOT FROM AN ACTUAL SURVEY.
 DISTANCES SHOWN HAVE NOT BEEN VERIFIED BY AN ACTUAL SURVEY.

CUNNINGHAM McCONNELL LIMITED
 ONTARIO LAND SURVEYORS

205 MAIN STREET MILTON, ONTARIO L9T 1N7 PHONE (905) 878-6672 FAX (905) 878-6672 MAIL: milton.office@cmlsurveyors.ca O.L.S. FILE # 94-21C DATE: MARCH 23, 2022	1200 SPEERS ROAD, UNIT 38 OAKVILLE, ONTARIO L6L 2X4 PHONE (905) 845-3497 FAX (905) 845-3519 EMAIL: infoook@cmlsurveyors.ca CLIENT: GEN THREE
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Memorandum to Committee of Adjustment Members

Minor Variance Application: A-22-071/M - 24 Martin Street (Severed Lands)

General Description of Application:

Under Section 45(1) of the *Planning Act*, the following minor variances to Zoning By-law 016-2014, as amended, has been requested:

- To allow a two way driveway to have a minimum width of 2.5 metres accessing a parking area, whereas 6.0 metres is currently required (a reduction of 3.5 metres).
- To allow a drive aisle width of 2.5 metres where are parking spaces are provided, whereas 6.0 metres is currently required (a reduction of 3.5 metres).
- To allow a 0.0 metre parking area setback to a lot line, whereas 1.5 metres is currently required (a reduction of 1.5 metres).

The subject property is known municipally as 6-20 Martin Street; 217-227 Main Street. Surrounding land uses include commercial and residential.

The owners of the property, Gen Three Limited, are seeking variances as a condition of undisputed Consent Application B22-005. As part of estate management purposes, the consent application was to create a new lot (24 Martin Street - severed lot) and associated permanent access right-of-ways. A related minor variance application A-22-070/M is being considered concurrently to accommodate the deficiencies required for the retained lands.

Official Plan Designation (including any applicable Secondary Plan designations):

The subject property is designated as Central Business District in the Town of Milton Official Plan on Schedule B 'Urban Area Land Use Plan'. Section 3.5 sets out that this area will serve as a focal area that accommodates commercial, cultural and residential uses.

It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan, as amended. It conforms to the Central Business District designation in that it supports commercial and residential use.

Zoning:

The subject lands are zoned as Central Business District Core Commercial (CBD-A) zone within the Town of Milton Urban Zoning By-law 016-2014, as amended. Within this zone, uses such as upper-floor dwelling units, office use, office building, and personal service shop are provided.

To facilitate the consent application and lot creation, the following variances are required:

Section 5.6.1 ii) Table 5B requires that a two way driveway have a minimum width of 6.0 metres, whereas 2.5 metres is being requested.

Section 5.7 5C requires that a minimum drive aisle width of 6.0 metres where parking spaces are provided, whereas 2.5 metres is being requested.

Section 5.12 Table 5L requires that a minimum setback of 1.5 metres be provided from the parking area to the lot line, whereas 0.0 metres is being requested.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the *Planning Act* on, September 8, 2022. As of the writing of this report on, September 22, 2022, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

The property is regulated by Conservation Halton (CH). However, CH understands that the minor variances are to recognize existing conditions that have occurred as a result of the consent application and that no development is proposed on site. As the subject is entirely within the Regulatory floodplain of Sixteen Mile Creek, any future development on these lands would be limited, highly restricted and a CH permit would be required in accordance with applicable policies.

Planning and Development Department Comments:

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Given shared access via permanent right-of-ways has been created through the consent application, Planning Staff are of the opinion that the variances being requested for the retained property is negligible. The driveway will offer ample width for vehicular access, both from an ingress and egress perspective. Further, the drive aisle maintains the same functionality as the aforementioned.

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Recommendation:

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the approval be subject to an expiry of two (2) years from the date of decision or if the proposed consent application is not granted final approval within such time.

Rachel Suffern

Rachel Suffern, MPA, M.Sc.
Planner, Development Review

September 22, 2022



Town of Milton
150 Mary Street
Milton, ON L9T 6Z5

T 905-878-7252
www.milton.ca

Committee of Adjustment & Consent

PUBLIC HEARING NOTICE

Minor Variance Application

Town File: A22/071/M

TAKE NOTICE that pursuant to S.45 of the *Planning Act*, R.S.O. 1990, C.P.13, as amended, this application will be considered by the Milton Committee of Adjustment and Consent starting at 6:00 p.m. on Thursday, September 29, 2022 by live-streaming on the Town of Milton's YouTube Channel at <http://www.youtube.com/c/townofmiltonontario>.

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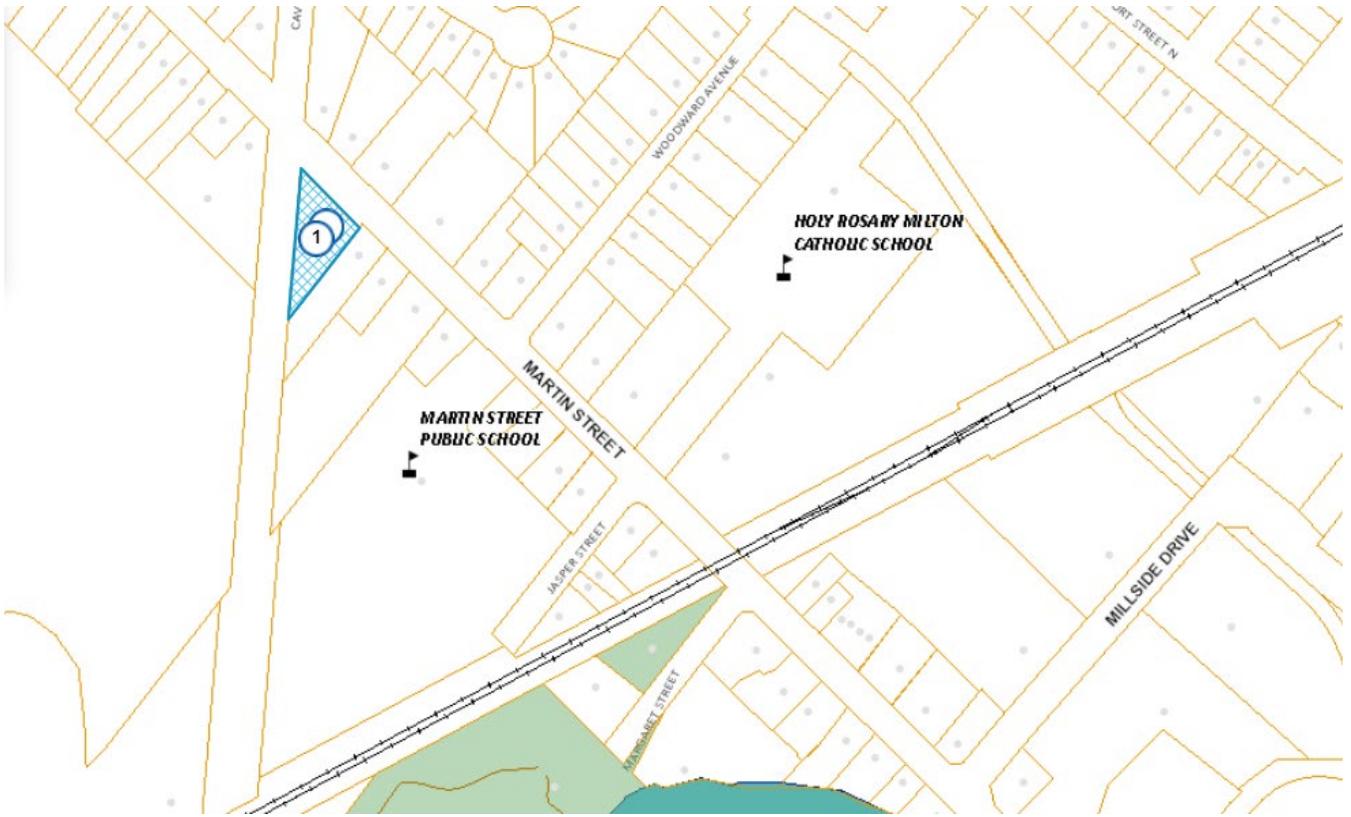
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Catherine Susidko

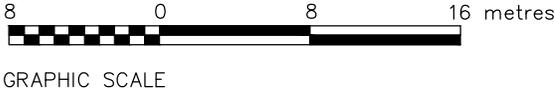
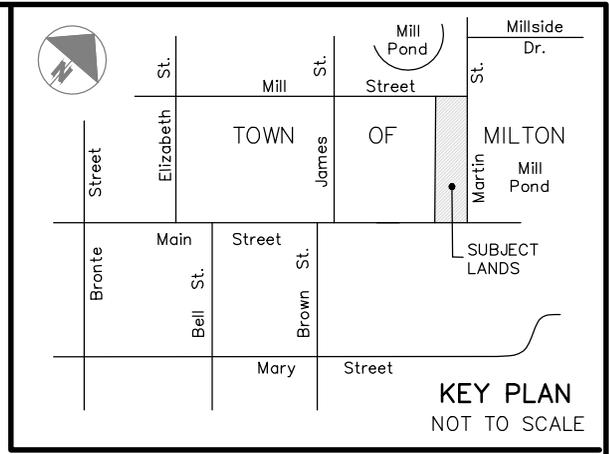
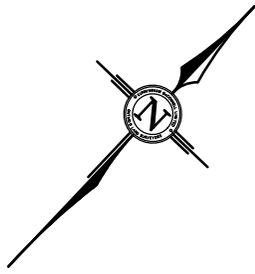
Catherine Susidko
Secretary-Treasurer, Committee of Adjustment and Consent
☎ 905-878-7252, ext. 2315 ✉ catherine.susidko@milton.ca

Date: Thursday, September 8, 2022

LOCATION MAP:



LAND DIVISION SKETCH OF
PART OF LOT 1
BLOCK 5
REGISTERED PLAN 6 (MARTIN'S SURVEY)
 AND
LOTS 8, 9, 10 & 11
 AND
PART OF THE ALLEY
 (NOW CLOSED BY BY-LAW)
REGISTERED PLAN 36
 AND
PART OF LOT 1
 AND
LOTS 2, 3, 4, 5, 6, 7, 8 & 9
REGISTERED PLAN 68
TOWN OF MILTON
 REGIONAL MUNICIPALITY OF HALTON
SCALE 1:400



LEGEND

CCG	DENOTES CONCRETE CURB & GUTTER
CSW	DENOTES CONCRETE SIDEWALK
CCUT	DENOTES CURB CUT
GM	DENOTES GAS METER
INTBRK	DENOTES INTERLOCKING BRICK
HV	DENOTES HYDRO VAULT

- NOTES:**
- 1) A RIGHT OF WAY IS TO BE GRANTED OVER PARCEL "A" IN FAVOUR OF THE LANDS TO BE RETAINED.
 - 2) A RIGHT OF WAY IS TO BE GRANTED OVER PARCEL "B" IN FAVOUR OF THE LANDS TO BE SEPARATED

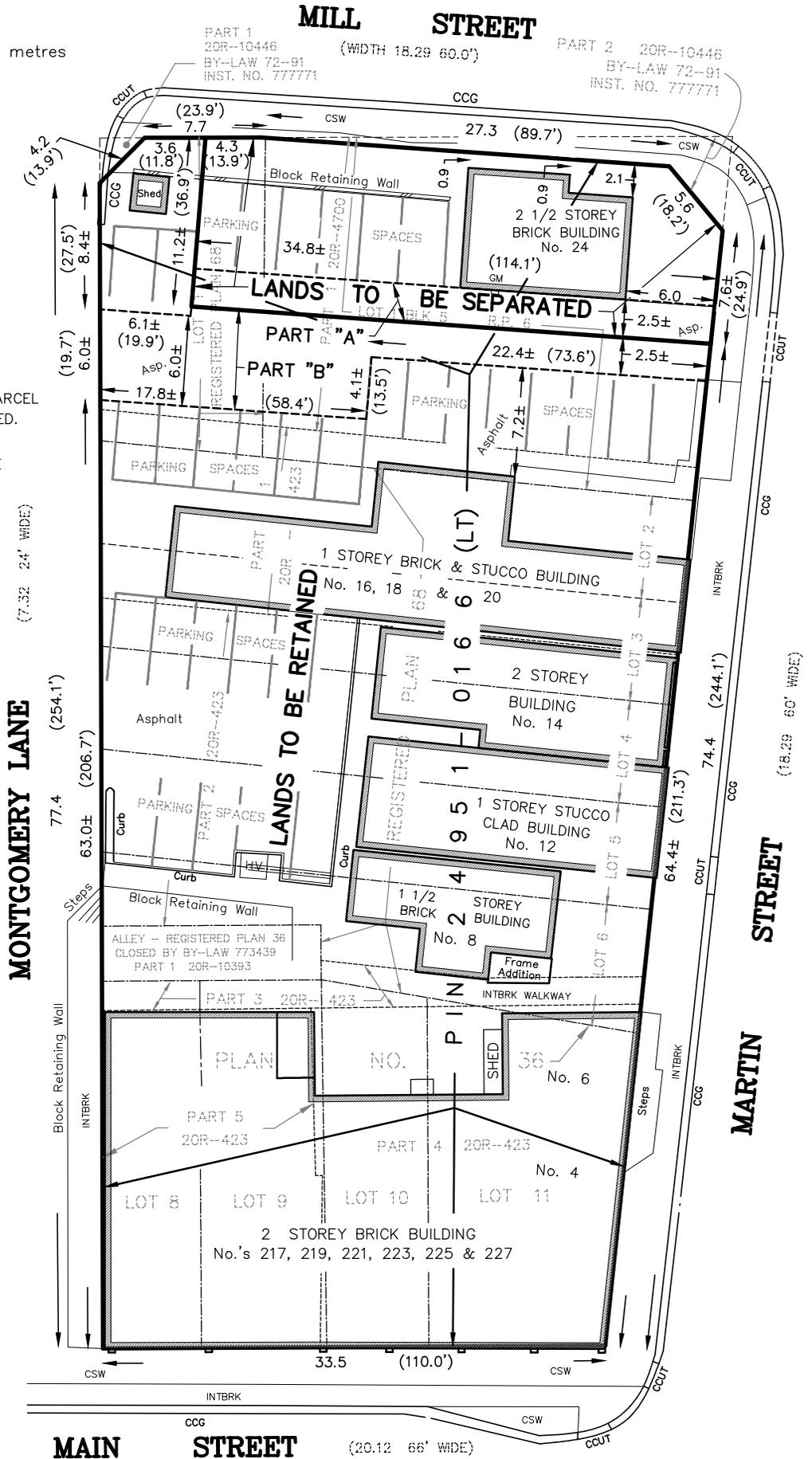
AREA'S

LANDS TO BE RETAINED =	0.26 HA.
	(0.6 AC.)±
LANDS TO BE SEPARATED =	0.04 HA.
	(0.1 AC.)±
PART "A" =	0.01 HA.
	(0.02 AC) ±
PART "B" =	0.02 HA.
	(0.04 AC) ±

ZONING:
 ZONING = CBD-A

MILTON TOWN OF MILTON
 DEVELOPMENT SERVICES
 CBD-A ZONE

ZONING: REVIEWED FOR C of A
 sherri.jamieson AUG 11, 2022
 ZONING OFFICER DATE



CAUTION:
 THIS IS NOT A PLAN OF SURVEY AND CANNOT
 BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

NOTE:
 THIS SKETCH IS PREPARED FROM COMPILED REGISTRY OFFICE
 AND CALCULATED INFORMATION, NOT FROM AN ACTUAL SURVEY.
 DISTANCES SHOWN HAVE NOT BEEN VERIFIED BY AN ACTUAL SURVEY.

CUNNINGHAM McCONNELL LIMITED
 ONTARIO LAND SURVEYORS

205 MAIN STREET MILTON, ONTARIO L9T 1N7 PHONE (905) 878-6672 FAX (905) 878-6672 EMAIL: milton.office@cmlsurveyors.ca O.L.S. FILE # 94-21C DATE: MARCH 23, 2022	1200 SPEERS ROAD, UNIT 38 OAKVILLE, ONTARIO L6L 2X4 PHONE (905) 845-3497 FAX (905) 845-3519 EMAIL: infooak@cmlsurveyors.ca CLIENT: GEN THREE
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Memorandum to Committee of Adjustment Members

Minor Variance Application: A-22-072/M - 422 Gowland Crescent

General Description of Application:

Under Section 45(1) of the *Planning Act*, the following minor variance to Zoning By-law 016-2014, as amended, has been requested to:

- Permit a maximum total gross floor area, of all accessory structures, of 26.84 square metres, whereas 12 square metres is currently permitted.

The subject property is known municipally as 422 Gowland Crescent and is legally described as Lot 34 on Registered Plan 20M-193. Surrounding land uses include low-density residential uses.

Official Plan Designation (including any applicable Secondary Plan designations):

The subject property is designated as Residential. It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan, as amended.

Zoning:

The subject lands are zoned special Residential Low Density 7 (RLD7*310) in the Town of Milton Zoning By-law 016-2014, as amended. In this zone, detached dwellings are permitted, along with accessory structures.

Section 4.2.1 Table 4A (2*) of the Zoning By-law 016-2014, as amended, require that lots with a total area less than 660 square metres are permitted to have a maximum total gross floor area of 12 square metres for accessory structures. The intent of this provision is to ensure accessory structures remain accessory to the primary residential use and don't contribute to overdevelopment of the subject property.

To facilitate the construction a proposed cabana and permit an existing garden shed, the applicant is requesting permission to increase the permitted gross floor area to 26.84 square metres.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the *Planning Act* on, September 8, 2022. As of the writing of this report on, September 22, 2022, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

Development Engineering Staff request that additional information be providing in respect to grading and drainage associated with this structure - however, this information can be provided at the time of Building Permit application.

Planning and Development Department Comments:

The applicant has requested a minor variance to accommodate an increase in total gross floor area of accessory structures, specifically associated with a proposed gazebo and existing garden shed. The proposed gazebo is to provide outdoor amenity space while the existing garden shed provides pool and property maintenance storage.

Planning Staff are of the opinion that the requested increase in gross floor area is minimal and does not result in over development of the subject lands. The existing structures maintain all other zoning provisions - including height and setback. Mature tree coverage reduces any visual impact that the additional gross floor area may have on adjacent residential properties, in addition to an existing fence that further reduces the impact. Finally, both structures contribute to enhancing the residential use on-site, including the backyard amenity area and pool.

After reviewing the requested variance, Planning Staff offer no objection to its approval as its minor in nature, is desirable for the development of the subject lands, conforms to the Official Plan and maintains the intent of the Zoning By-law.

Recommendation:

THAT the application for minor variance BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

1. That the accessory structure (gazebo) shall be located and constructed in accordance with the site plan and building elevations, prepared by Black Ink Designs, date stamped by Town Zoning on August 28, 2022.
2. That a building permit application be obtained within two (2) years from the date of this decision.
3. That requested grading information be provided, to the satisfaction of Town Development Engineering staff, prior to building permit issuance.
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Rachel Suffern

Rachel Suffern, MPA, MSc.
Planner, Development Review

September 22, 2022



Town of Milton
150 Mary Street
Milton, ON L9T 6Z5

T 905-878-7252
www.milton.ca

Committee of Adjustment & Consent

PUBLIC HEARING NOTICE

Minor Variance Application

Town File: A22/072/M

TAKE NOTICE that pursuant to S.45 of the *Planning Act*, R.S.O. 1990, C.P.13, as amended, this application will be considered by the Milton Committee of Adjustment and Consent starting at 6:00 p.m. on Thursday, September 29, 2022 by live-streaming on the Town of Milton's YouTube Channel at <http://www.youtube.com/c/townofmiltonontario>.

You are receiving this notice because the applicant submitted a minor variance application to the Town of Milton. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres of the area to which the application applies. Further details on this application, including drawings, can be viewed by contacting the Secretary Treasurer, noted below.

Application Details: The property owner of 422 Gowland Crescent (PLAN M193 LOT 34) in the Town of Milton under Section 45(1) of the *Planning Act*, is requesting the Committee of Adjustment to authorize a minor variance to permit an increase in total gross floor area of accessory structures. Therefore, the following variance to Zoning By-law 016-2014, as amended, is required:

No.	Zoning By-law Regulation	Variance Request
1.	Zoning: RLD7*310 Section 4.2.1 Table 4A (2*) The By-law states that the maximum total gross floor area for accessory structures is 12 metres squared for lots less than 660 meters squared. Lot is 648.94 metres squared.	To permit an increase the total area of accessory structures to 26.84 metres squared for the existing shed (8.44 metres squared) and proposed pool cabana (18.4 meters squared).

Due to the COVID-19 pandemic, attendance at Town Hall is restricted and public meetings are being held by videoconference only. Instructions on how to view the meeting or participate by written submission, videoconference or telephone are provided below.

Get Involved: The community is invited to virtually attend and/or participate in the statutory public hearing. You can fill out the delegate request form at milton.ca/delegations. For assistance filling out the form, email townclerk@milton.ca or call 905-878-7252 ext. 0. Forms must be submitted by noon on Tuesday, September 27, 2022.

Provide written comments	By email (preferred) to the Secretary-Treasurer noted below. Include your name, address, application number or address of the property to which you are providing comments. To allow all Committee Members the opportunity to review comments, please provide all written submission no later than Monday, September 26, 2022.
Speak/present to Committee:	Fill out the delegate request form by 12 p.m. on Tuesday, September 27, 2022 to register as a delegate and speak at the meeting via audio or video.
Dial in to the Hearing:	If you miss the delegate request deadline, you can request to make an oral submission during the meeting by dialing in to the dedicated phone number at 1-866-511-0021 or emailing townclerk@milton.ca .

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If you have received this notice and are an owner of a property and said property contains seven (7) or more residential units, you are required to post this notice in a location that is visible to all the residents.

Contact: Please contact the Secretary-Treasurer, as noted below, if wish to be notified of the Committee's decision of this application. This will also entitle you to be advised of any future Local Planning Appeal Tribunal proceedings.

Personal information is collected under the authority of the *Planning Act*, and may be contained in an appendix to the staff report, published in the meeting agenda, delegation list and/or the minutes of the public meeting and made part of the public record. The Town of Milton collects this information in order to make informed decisions on the relevant issues and to notify interested parties of Committee's decisions. It may also be used to serve notice of a Ontario Land Tribunal hearing. The disclosure of this information is governed by the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56. Questions about this collection and disclosure should be directed to the Committee of Adjustment and Consent Office, Development Services Department, 150 Mary Street, Milton, ON L9T 6Z5 or 905-878-7252.

Catherine Susidko

Catherine Susidko
Secretary-Treasurer, Committee of Adjustment and Consent
☎ 905-878-7252, ext. 2315 ✉ catherine.susidko@milton.ca

Date: Thursday, September 8, 2022

Location Map:



Provide the dimensions of the proposed cabana.

Indicate the setback of the existing pool shed to the interior lot line.



TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD7-310 ZONE
MILTON
 ZONING: REVIEWED FOR C of A
 Trudy Gravel
 ZONING OFFICER
 AUG 9, 2022
 DATE

CONST. NORTH
 TRUE NORTH

DISCLAIMER:
 -DO NOT SCALE DRAWINGS OR ANY DETAILS ISSUED FOR THIS PROJECT.
 -IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, NOTES & DETAILS PRIOR TO STARTING CONSTRUCTION.
 -IF ANY DISCREPANCIES ARISE PERTAINING TO THE DRAWINGS, NOTIFICATION OF THESE PROBLEMS MUST BE IMMEDIATELY REPORTED TO THE DESIGNER.

black ink designs
 IT ALL STARTS WITH A PLAN
 5046 Wellington Road 125
 Erin, ON
 L7J 2L9
 416.768.4939
 info@blackinkdesigns.ca
 www.blackinkdesigns.ca

QUALIFICATION INFORMATION:
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OBC TO BE A DESIGNER

SIGNATURE
 JEREMY ZEGERS
 BCIN: 20145

REGISTRATION INFORMATION:
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C, 3.2.4.1. OF THE ONTARIO BUILDING CODE

BLACK INK DESIGNS
 BCIN: 122103

PROJECT NUMBER:
 22-0114

DRAWING TITLE:
 FLOOR PLAN

PROJECT TITLE:
 SITE PLAN
 422 GOWLAND CRESCENT

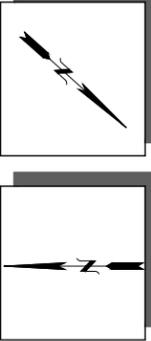
DRAWN BY:
 JEREMY ZEGERS

CLIENT NAME:
 ROB HUNT

DATE:
 06-25-22

SCALE:
 3/32" = 1'-0"

NO.
 SP-1



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PROJECT NUMBER:
22-0114

DRAWING TITLE:
FLOOR PLAN

PROJECT TITLE:
POOL CABANA
422 GOWLAND CRESCENT

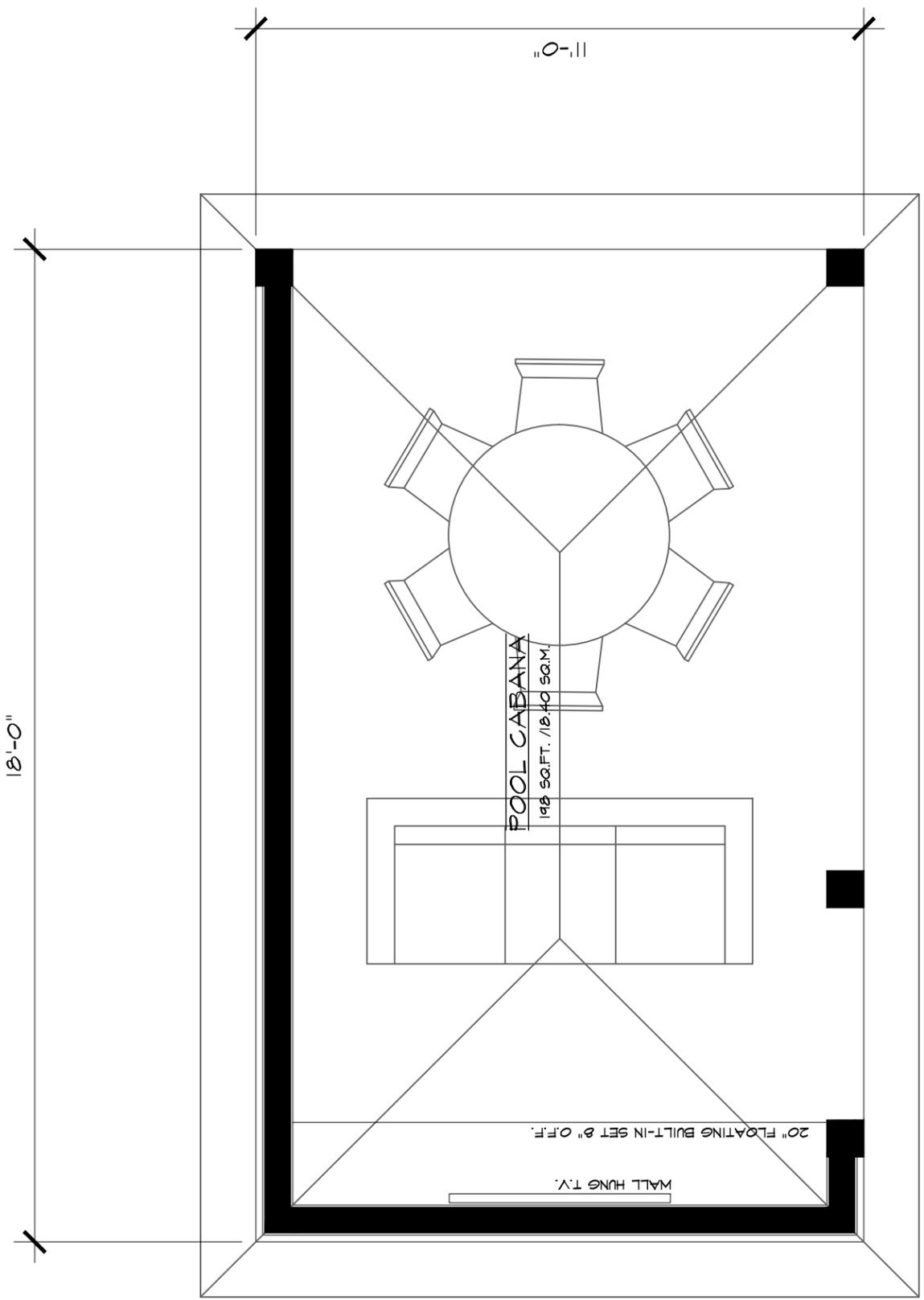
DRAWN BY:
JEREMY ZEGERS

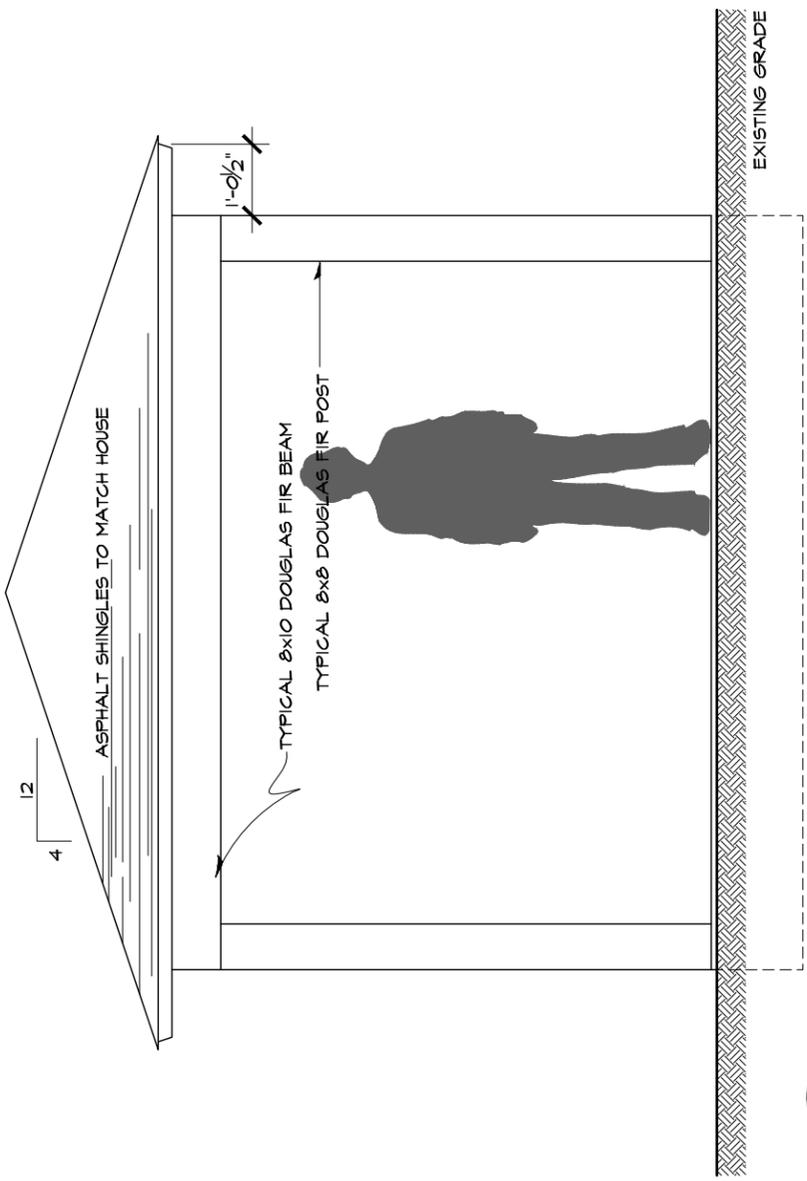
CLIENT NAME:
ROB HUNT

DATE:
06-25-22

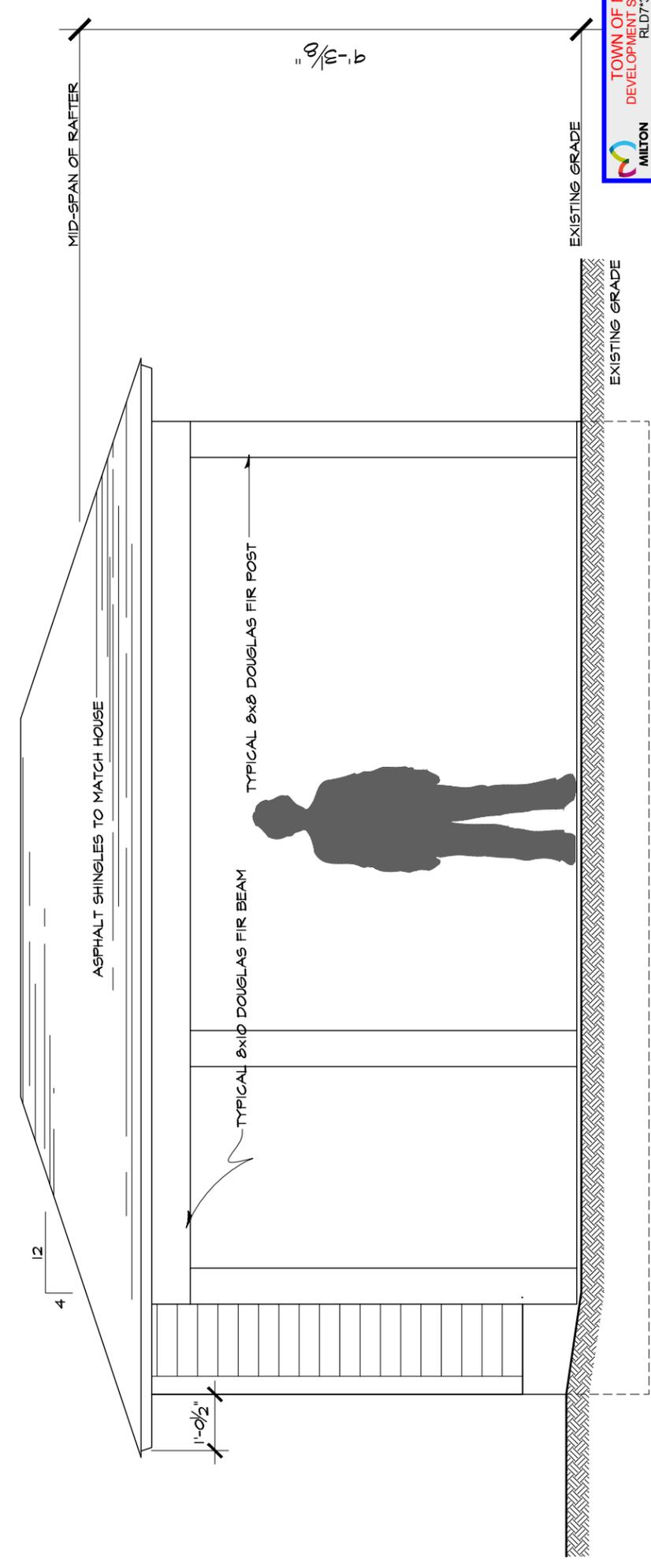
SCALE:
3/8" = 1'-0"

NO.
A01





1 | **SOUTHWEST ELEVATION**
SCALE: AS NOTED



2 | **NORTHWEST ELEVATION**
SCALE: AS NOTED

TOWN OF MILTON
DEVELOPMENT SERVICES
RLD7-310 ZONE
ZONING: REVIEWED FOR C of A
Trudy Gravel
ZONING OFFICER
AUG 9, 2022
DATE

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TRUE NORTH

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BCIN: 122103

PROJECT NUMBER:
22-0114

DRAWING TITLE:
ELEVATIONS

PROJECT TITLE:
POOL CABANA
422 GOWLAND CRESCENT

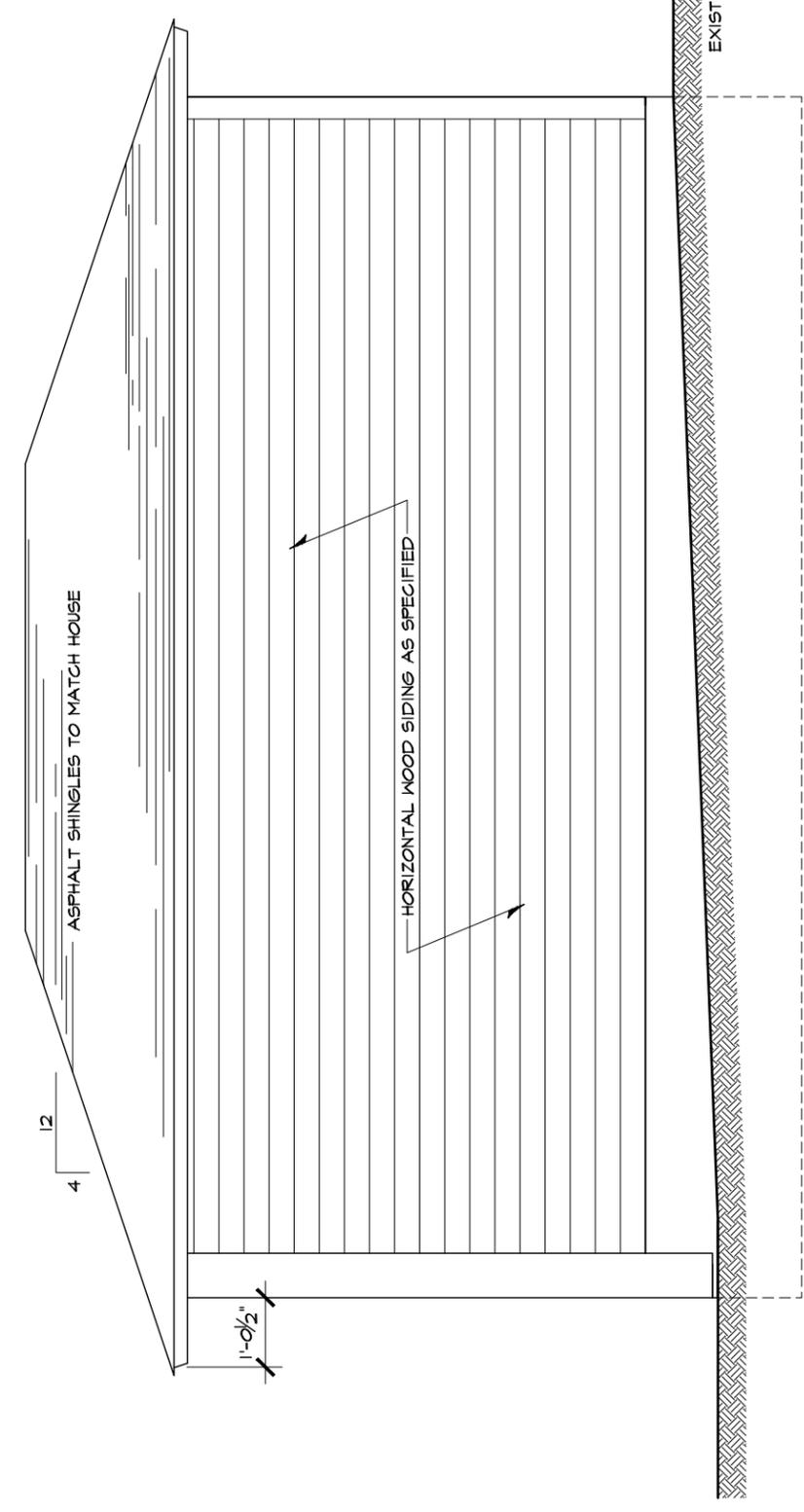
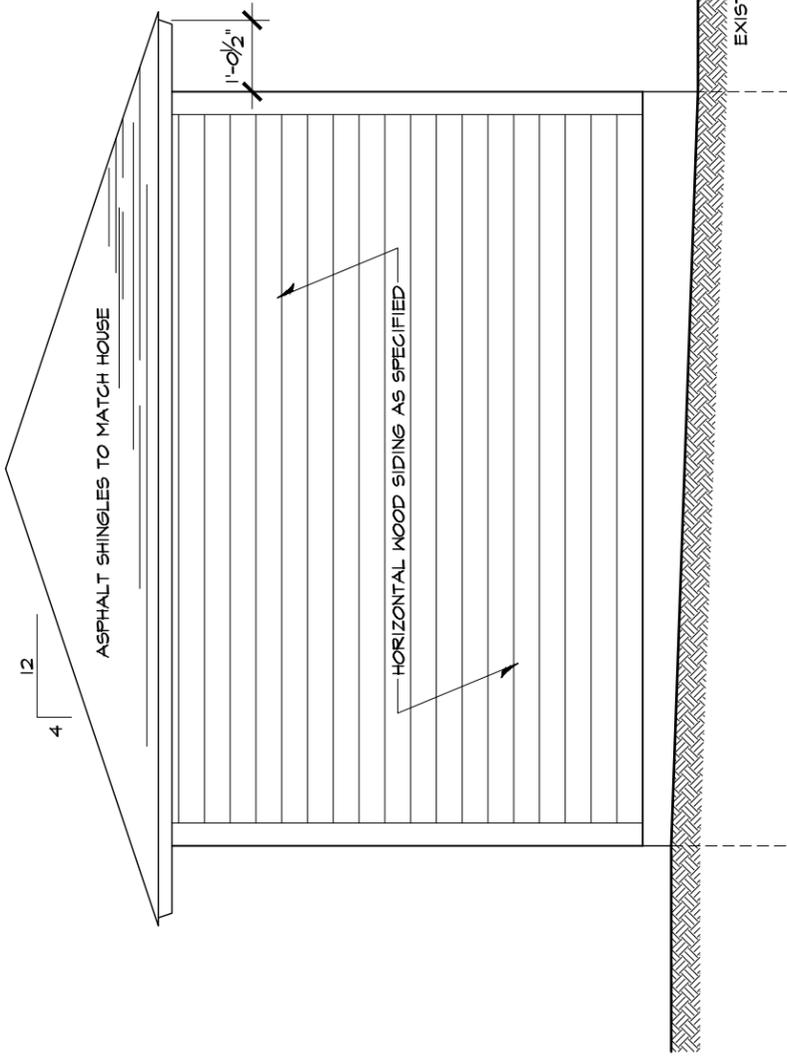
DRAWN BY:
JEREMY ZEGERS

CLIENT NAME:
ROB HUNT

DATE:
06-25-22

SCALE:
3/8" = 1'-0"

NO.
A02



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BLACK INK DESIGNS BCIN: 122103

PROJECT NUMBER:
 22-0114

DRAWING TITLE:
 ELEVATIONS

PROJECT TITLE:
 POOL CABANA
 422 GOWLAND CRESCENT

DRAWN BY:
 JEREMY ZEGERS

CLIENT NAME:
 ROB HUNT

DATE:
 06-25-22

SCALE:
 3/8" = 1'-0"

NO.
 A02

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BLACK INK DESIGNS
BCIN: 122103

PROJECT NUMBER:
22-0114

DRAWING TITLE:
FLOOR PLAN

PROJECT TITLE:
SITE PLAN
422 GOWLAND CRESCENT

DRAWN BY:
JEREMY ZEGERS

CLIENT NAME:
ROB HUNT

DATE:
08-25-22

SCALE:
3/32" = 1'-0"

NO.
SP-1



TOWN OF MILTON
PLANNING AND DEVELOPMENT
RLD7*310 ZONE

ZONING: APPROVED
Trudy Gravel
ZONING OFFICER

DATE
AUG 25, 2022



Memorandum to Committee of Adjustment Members

Minor Variance Application: A-22/073/M - 33 Victoria Street

General Description of Application:

Under Section 45(1) of the *Planning Act*, the following minor variances to Zoning By-law 016-2014, as amended, have been requested to:

- Allow a detached garage to have a height of 4.9 metres, whereas 4.3 metres is currently permitted (an increase of 0.6 metres).
- Allow an interior side yard setback on a non-driveway side of a lot to be 1.2 metres, whereas 1.8 metres is currently required (a reduction of 0.6 metres).

The subject property is known municipally as 33 Victoria Street and is legally described as Lot 3 on Registered Plan 18. The property is generally located east of Bronte Street North and north of Main Street East. Surrounding land uses include residential, with vacant commercial lands to the rear and Rotary Park to the east.

Official Plan Designation (including any applicable Secondary Plan designations):

The subject property is designated as Central Business District in the Town of Milton Official Plan on Schedule B 'Urban Area Land Use Plan'. Section 3.5 sets out that this area will serve as a focal area that accommodates commercial, cultural and residential uses. Low density residential development is permitted in conformity with the Residential policies within Section 3.2 of the Town of Milton Official Plan.

It is Staff's opinion that the proposal is in conformity with the Town of Milton Official Plan, as amended. It conforms to the Central Business District designation, as well as applicable Residential policies, in that it proposes low-density residential development that maintains the character of the area through an addition and garage that is compatible with the surrounding area.

Zoning:

The subject lands are zoned as Residential Low Density I (RLD1) in the Town of Milton Urban Zoning By-law 016-2014, as amended. In this zone, single detached dwellings, semi-detached dwellings and accessory structures are permitted.

On October 19, 2020, the Town of Milton approved an Official Plan Amendment and Zoning By-law Amendment for the lands within the Character Area and select mature neighbourhoods within the town. As part of this approval, a two-year moratorium on Minor Variance applications was also approved. This means that a minor variance to the new Residential Low Density I (RLD1) zone is not permitted for a period of two years, unless given authorization to do so from Town Council. The purpose of this is to ensure proposals maintain the intent of the Mature Neighbourhood Study / Character Area amendments.

On May 9, 2022, the Town of Milton Council provided authorization for the proposed development to be reviewed through the submission of a minor variance application despite the two-year moratorium. The proposed development was reviewed and is considered to be maintaining the intent of the Mature Neighbourhood / Character Area amendments.

Variance One: Increase in Detached Garage Height

Section 4.2.2.2 i) d) of the Zoning By-law 016-2014, as amended, permits a maximum garage door height of 4.3 metres. The intent of this provision is to ensure that the garage remains accessory to the primary residential dwelling and does not disrupt adjacent lands in way of privacy and sightline.

In order to accommodate the proposed detached garage, the applicant is requesting a maximum height of 4.9 metres (an increase of 0.6 metres).

Variance Two: Reduction in Side Yard Setback

Section 6.2 Table 6B (*2) ii) a. 1) of the Zoning By-law 016-2014, as amended, requires a minimum interior side yard setback, on the non-driveway side of a lot, of 1.8 metres. The intent of this provision is to ensure that any development does not negatively impact neighbouring properties in way of views, privacy, and personal enjoyment. Further, it intends to maintain adequate access to the rear yard and appropriate drainage patterns and grading.

In order to accommodate the proposed addition, the applicant is requesting an interior side yard setback of 1.2 metres (a reduction of 0.6 metres).

Public Consultation

Notice for the hearing was provided pursuant to the *Planning Act* on, September 8, 2022. As of the writing of this report on, September 22, 2022, staff have not received any comments from members of the public.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies.

The dwelling is a 'listed' resource on the Town of Milton's Heritage Register - Heritage Planning Staff continue to work with the applicant through the concurrent Site Plan Approval process to ensure the addition is respectful of and subservient to the original dwelling and existing heritage features.

The applicant has noted their intention to formally designate the property following the completion of the works. Heritage Planning Staff look forward to working through that subsequent process with the property owners.

Planning and Development Department Comments:

The applicant has requested a minor variance to facilitate the construction of a residential addition to the rear of the existing dwelling at 33 Victoria Street and a detached garage. The existing portion of the rear dwelling will be removed to accommodate the new addition. Heritage Planning Staff have confirmed that the existing rear addition is not

original and is not considered a heritage feature - therefore, there are no concerns with the demolition of this portion of the structure.

In respect to the detached garage, Planning Staff are of the opinion that the increase in height is minimal. Situated on the adjacent lands is a detached garage and mature tree coverage - this minimizes any impact that the increased height will have on adjacent residential land owners, beyond that of which the as-of-right garage would have if it maintained all zoning provisions. Further, the lands to the rear are currently vacant and zoned commercial, therefore minimizing any future impact this garage may have in respect to disrupting or impacting residential uses. Finally, the detached garage is adequately setback from the public right-of-way so that it minimizes impact on the front façade, while also introducing a feature to the property that represents a positive contribution to the neighbourhood.

Planning Staff are of the opinion that the reduction in side yard setback is negligible. The existing heritage dwelling maintains a larger side yard setback, therefore reducing the impact of the 1.2 metre side yard setback requested for the addition. Further, it remains respectfully setback of neighbouring lands and will not disrupt adjacent property owners in way of sightline or personal enjoyment. Adequate access to the rear is maintained and Development Engineering has expressed no concerns in respect to grading and drainage. The proposed addition maintains all other zoning provisions.

Overall, Planning Staff offer no objection to either variances being requested and are therefore recommending approval. The variances are minor in nature, are desirable to the development of the subject lands, conform to the Official Plan, and maintain the intent of the Zoning By-law.

Recommendation:

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the residential addition and detached garage shall be located and constructed generally in accordance with the site plan and building elevations, prepared by Jansen Consulting, date stamped by Town Zoning on August 16, 2022.
2. That a building permit be obtained for both the detached garage and residential addition within two (2) years from the date of this decision.
3. That prior to building permit issuance, site plan approval be granted.
4. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Rachel Suffern

Rachel Suffern, MPA, MSc
Planner, Development Review

September 22, 2022



Town of Milton
150 Mary Street
Milton, ON L9T 6Z5
T 905-878-7252
www.milton.ca

Committee of Adjustment & Consent

PUBLIC HEARING NOTICE

Minor Variance Application

Town File: A22/073/M

TAKE NOTICE that pursuant to S.45 of the *Planning Act*, R.S.O. 1990, C.P.13, as amended, this application will be considered by the Milton Committee of Adjustment and Consent starting at 6:00 p.m. on Thursday, September 29, 2022 by live-streaming on the Town of Milton's YouTube Channel at <http://www.youtube.com/c/townofmiltonontario>.

You are receiving this notice because the applicant submitted a minor variance application to the Town of Milton. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres of the area to which the application applies. Further details on this application, including drawings, can be viewed by contacting the Secretary Treasurer, noted below.

Application Details: The property owner of 33 Victoria Street (SURVEY MARTIN BLK B PT LOTS 2, 3) in the Town of Milton under Section 45(1) of the *Planning Act*, is requesting the Committee of Adjustment to authorize a minor variance to permit a residential addition and detached garage. Therefore, the following variance to Zoning By-law 016-2014, as amended, is required:

No.	Zoning By-law Regulation	Variance Request
1.	Zoning: RLD1 Section 6.2 Table 6B Footnote (*2) ii) a. 1) The By-law states that interior side yard setback on the non-driveway side of the lot is 1.8 metres.	To permit a minimum interior side yard setback of 1.2 metres (a difference of -0.6) on the non-driveway side of the lot.
2.	Zoning: RLD1 Section 4.2.2.2 i) d) The By-law states the maximum height permitted for a detached garage is 4.3 metres.	To permit a maximum height for a detached garage of 4.9 metres (a difference of 0.6 metres).

Due to the COVID-19 pandemic, attendance at Town Hall is restricted and public meetings are being held by videoconference only. Instructions on how to view the meeting or participate by written submission, videoconference or telephone are provided below.

Get Involved: The community is invited to virtually attend and/or participate in the statutory public hearing. You can fill out the delegate request form at milton.ca/delegations. For assistance filling out the form, email townclerk@milton.ca or call 905-878-7252 ext. 0. Forms must be submitted by noon on Tuesday, September 27, 2022.

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If you have received this notice and are an owner of a property and said property contains seven (7) or more residential units, you are required to post this notice in a location that is visible to all the residents.

Contact: Please contact the Secretary-Treasurer, as noted below, if wish to be notified of the Committee's decision of this application. This will also entitle you to be advised of any future Local Planning Appeal Tribunal proceedings.

Personal information is collected under the authority of the *Planning Act*, and may be contained in an appendix to the staff report, published in the meeting agenda, delegation list and/or the minutes of the public meeting and made part of the public record. The Town of Milton collects this information in order to make informed decisions on the relevant issues and to notify interested parties of Committee's decisions. It may also be used to serve notice of a Ontario Land Tribunal hearing. The disclosure of this information is governed by the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56. Questions about this collection and disclosure should be directed to the Committee of Adjustment and Consent Office, Development Services Department, 150 Mary Street, Milton, ON L9T 6Z5 or 905-878-7252.

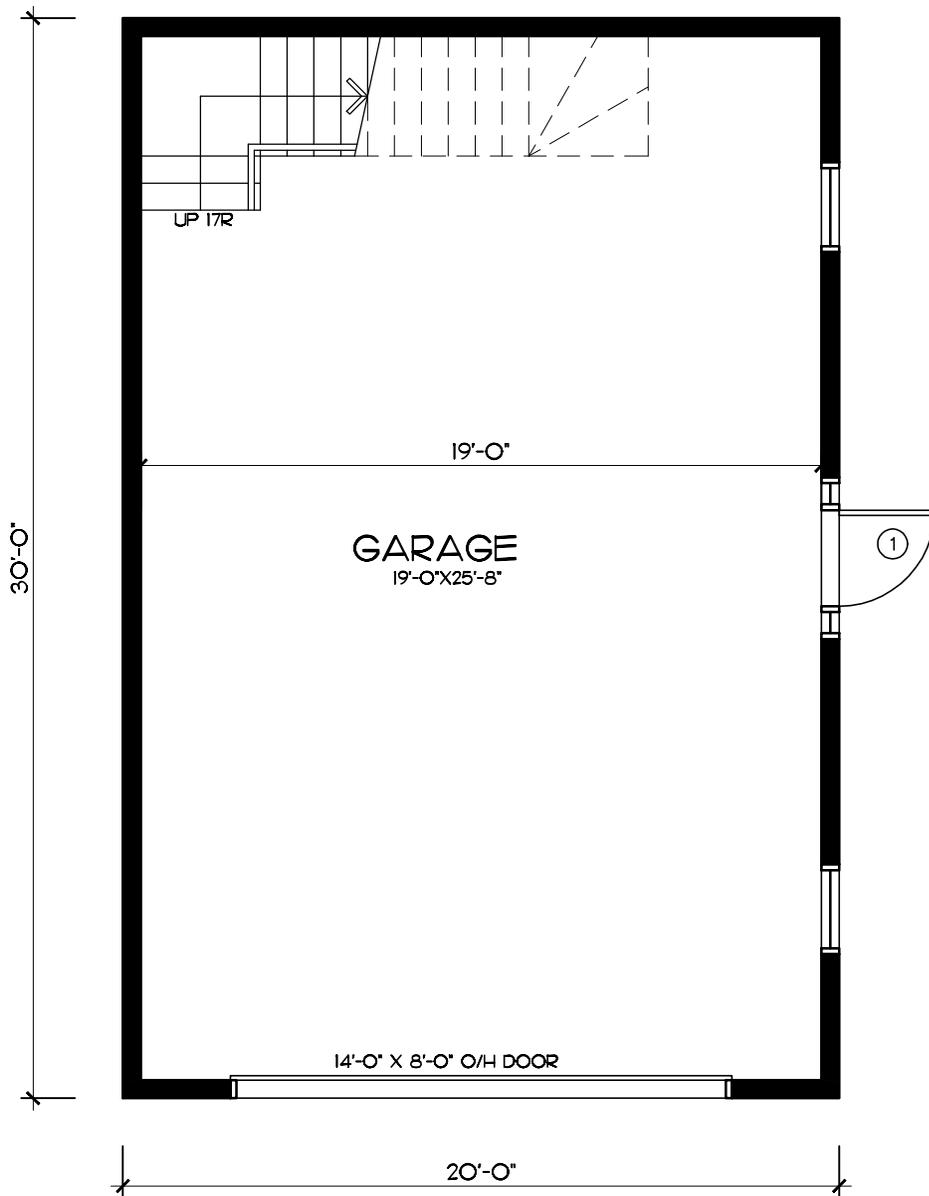
Catherine Susidko

Catherine Susidko
Secretary-Treasurer, Committee of Adjustment and Consent
☎ 905-878-7252, ext. 2315 ✉ catherine.susidko@milton.ca

Date: Thursday, September 8, 2022

Location Map:





MAIN FLOOR PLAN

SCALE : 3/16" = 1'-0"

MAIN FLOOR AREA = 600 S.F.
LOFT FLOOR AREA = 429 S.F.
TOTAL FLOOR AREA = 1029 S.F.

LOT AREA = 1066 M2
LOT COVERAGE ALLOWED • 10% = 106.60 M2
LOT COVERAGE PROPOSED • 5.3% = 55.74 M2 (600 S.F.)
SEE HOUSE CALC'S FOR TOTALS

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	IST SUBMISSION COMMENTS


TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
 robin.campbell AUG 16, 2022
 ZONING OFFICER DATE

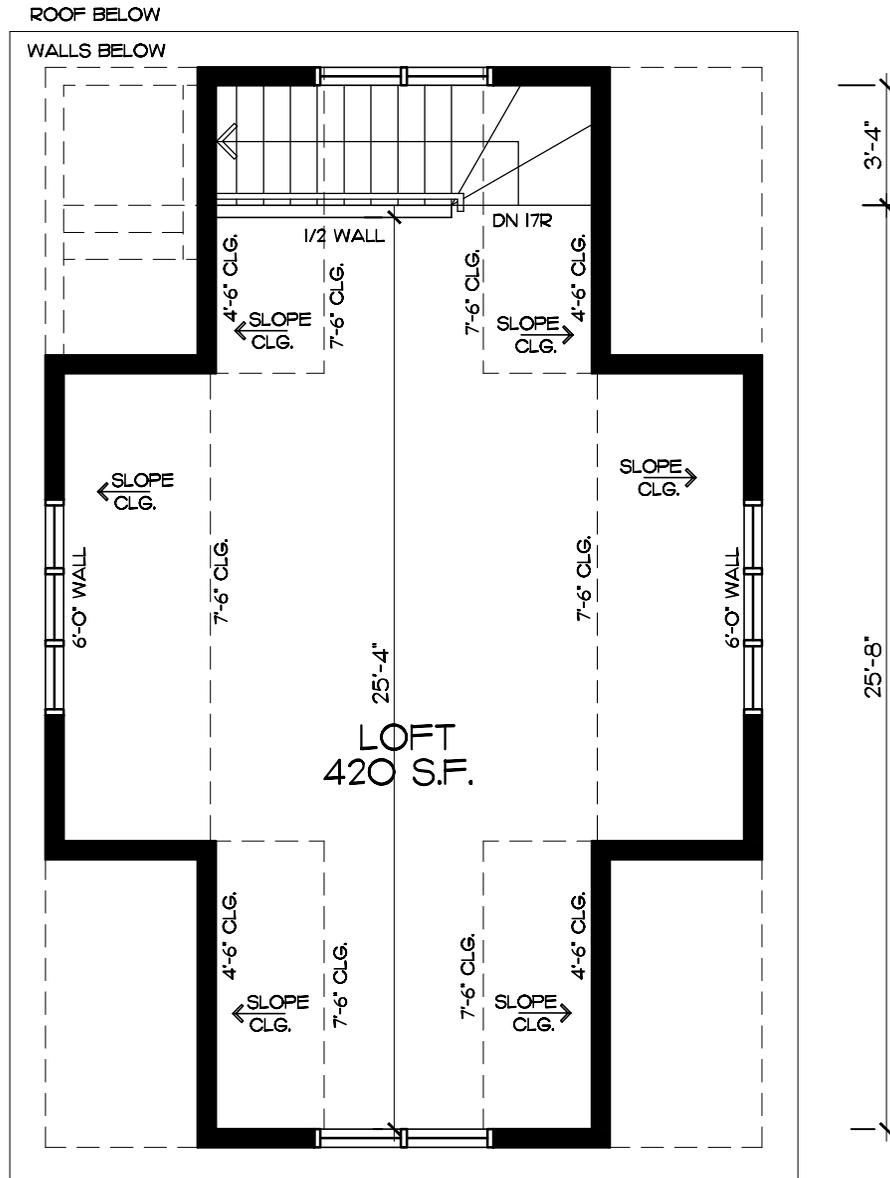


70 Main Street N, P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 KYLE & LYNNE
 33 VICTORIA STREET
 MILTON, ON

SP-O2/22

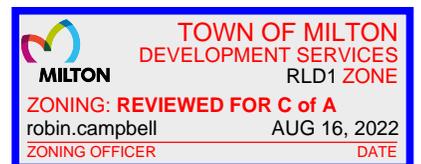
D08



SEC. FLOOR PLAN

SCALE : 3/16" = 1'-0"

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	IST SUBMISSION COMMENTS

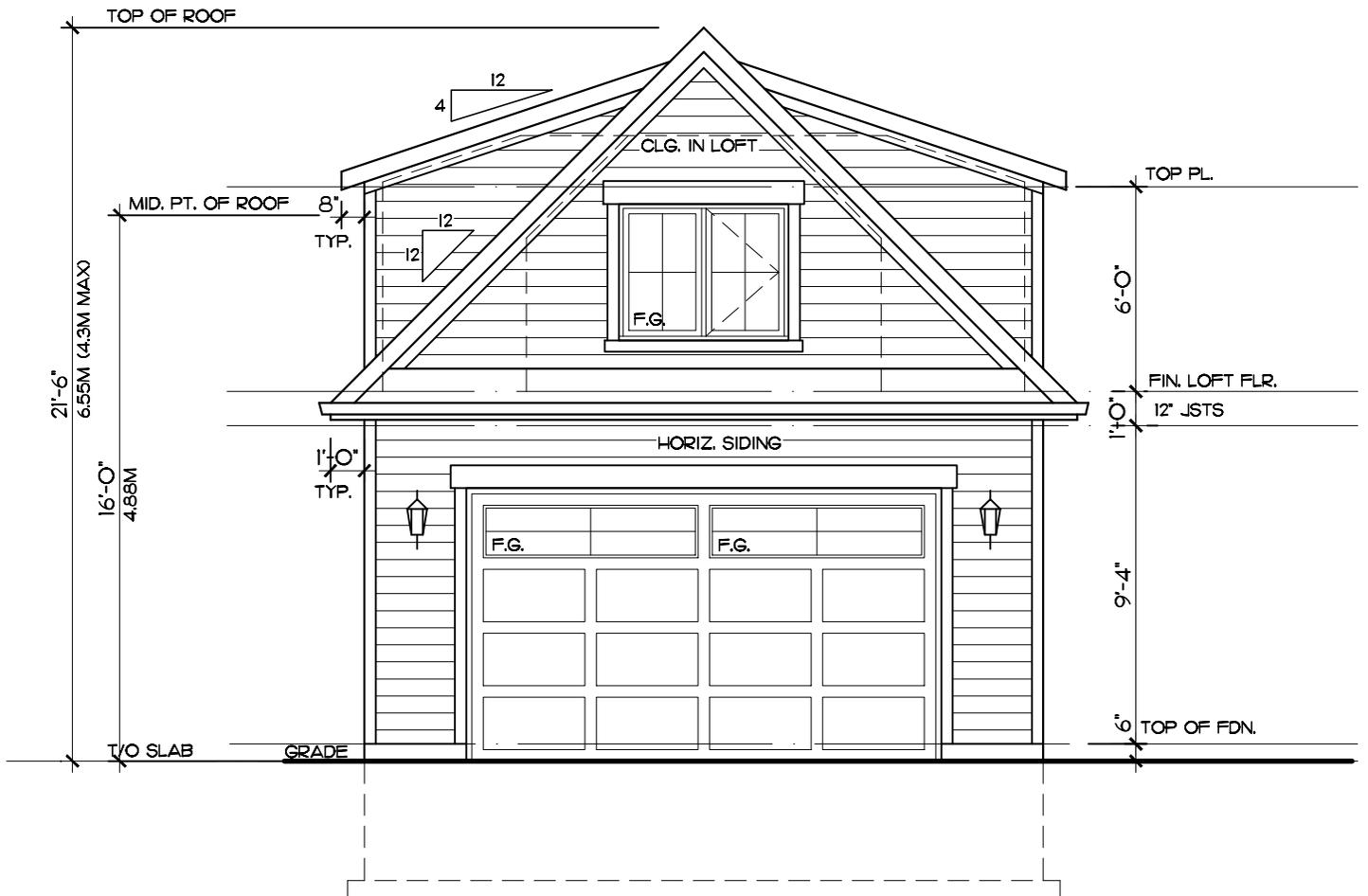


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MILTON, ON

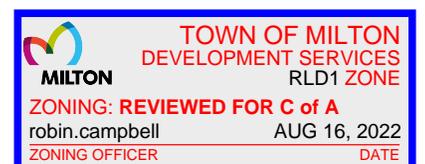
SP-O2/22

D09



FRONT ELEVATION

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS

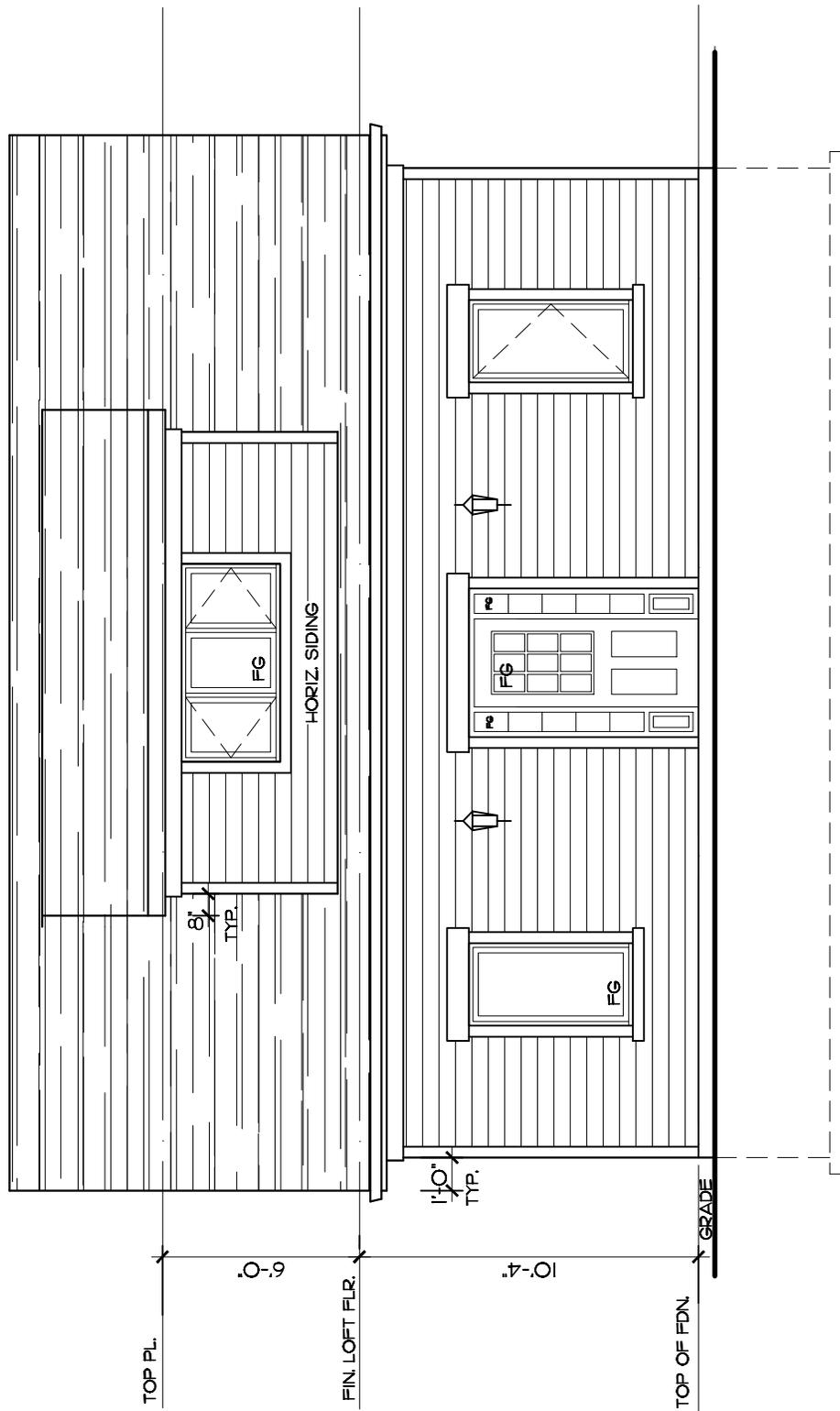


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OWNERS INFORMATION :
KYLE & LYNNE
33 VICTORIA STREET
MILTON, ON

SP-02/22

D10



RIGHT SIDE ELEVATION

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	IST SUBMISSION COMMENTS


TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
 robin.campbell AUG 16, 2022
 ZONING OFFICER DATE



70 Main Street N., P.O. Box 38
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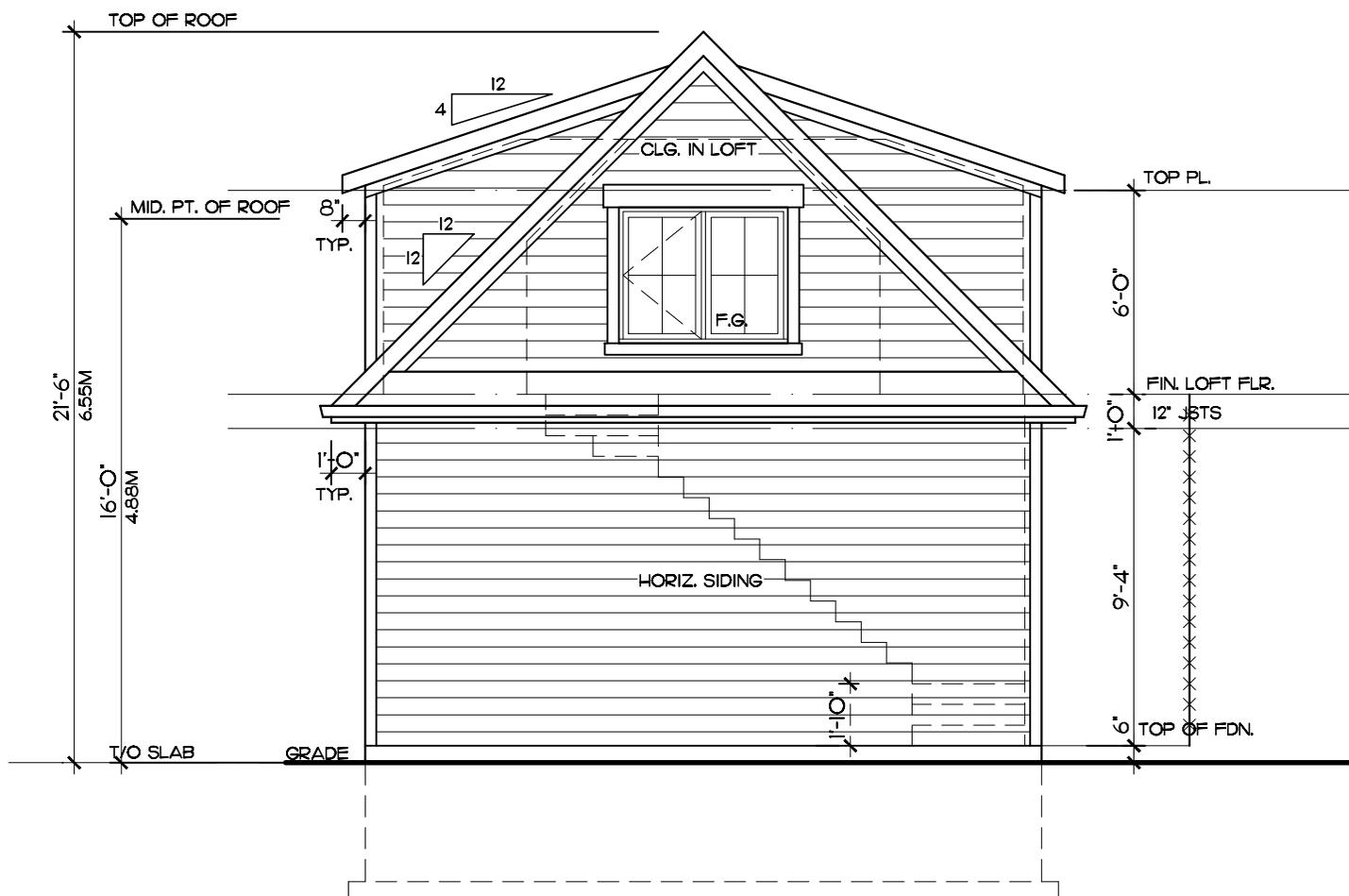
OWNERS INFORMATION :
 D04
 33 VICTORIA STREET
 MILTON, ON

SP-02/22

D11

COLOUR CHART – SAME AS MAIN DWELLING

PRODUCT	SUPPLIER	COLOUR
SIDING – HORIZ.	MAIBEC	SEAFRONT BEIGE
FRIEZE – ALUM.	KAYCAN	LINEN
WINDOWS	CASA BELLA	WHITE
EXTERIOR DOORS	CASA BELLA	WHITE
GARAGE DOORS	CAR-WAL	ICE WHITE
SHINGLES	BP	BARKWOOD



REAR ELEVATION

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS

TOWN OF MILTON
DEVELOPMENT SERVICES
RLD1 ZONE
ZONING: **REVIEWED FOR C of A**
robin.campbell AUG 16, 2022
ZONING OFFICER DATE

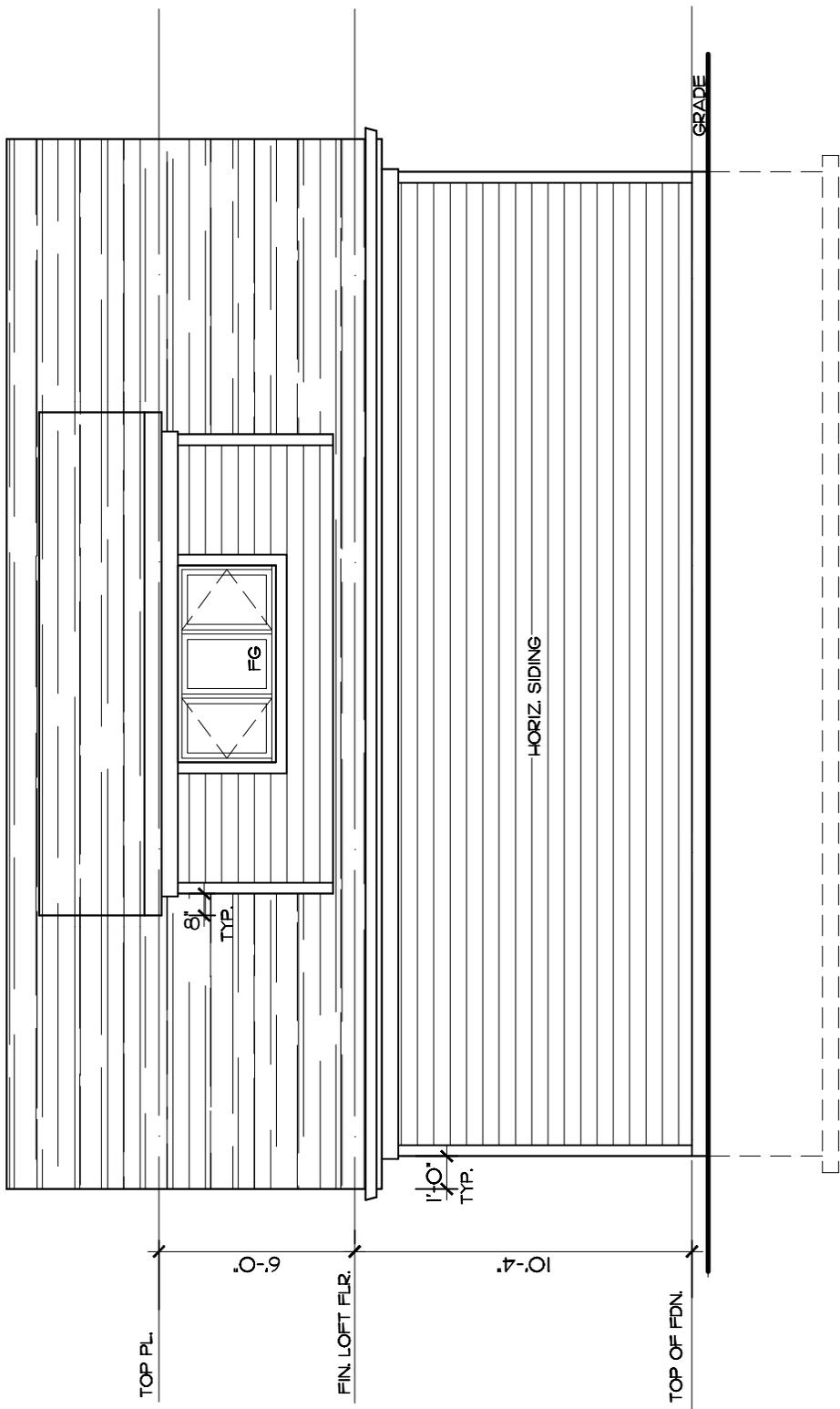


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OWNERS INFORMATION :
KYLE & LYNNE
33 VICTORIA STREET
MILTON, ON

SP-O2/22

D12



LEFT SIDE ELEVATION

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS


TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
 robin.campbell AUG 16, 2022
 ZONING OFFICER DATE

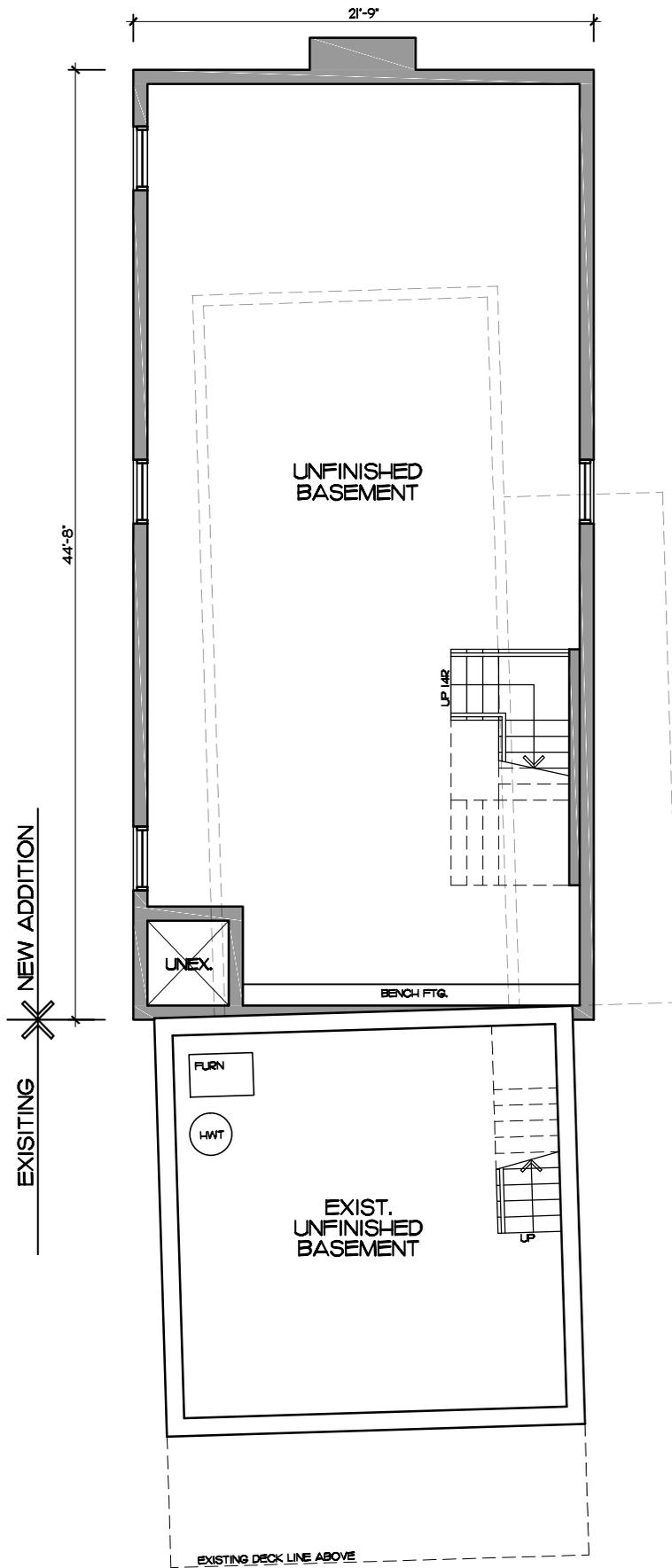


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 Fax 905-854-9559
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 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 D04
 33 VICTORIA STREET
 MILTON, ON

SP-02/22

D13



BASEMENT FLOOR PLAN
SCALE : 3/16" = 1'-0"

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS


TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
 robin.campbell AUG 16, 2022
 ZONING OFFICER DATE

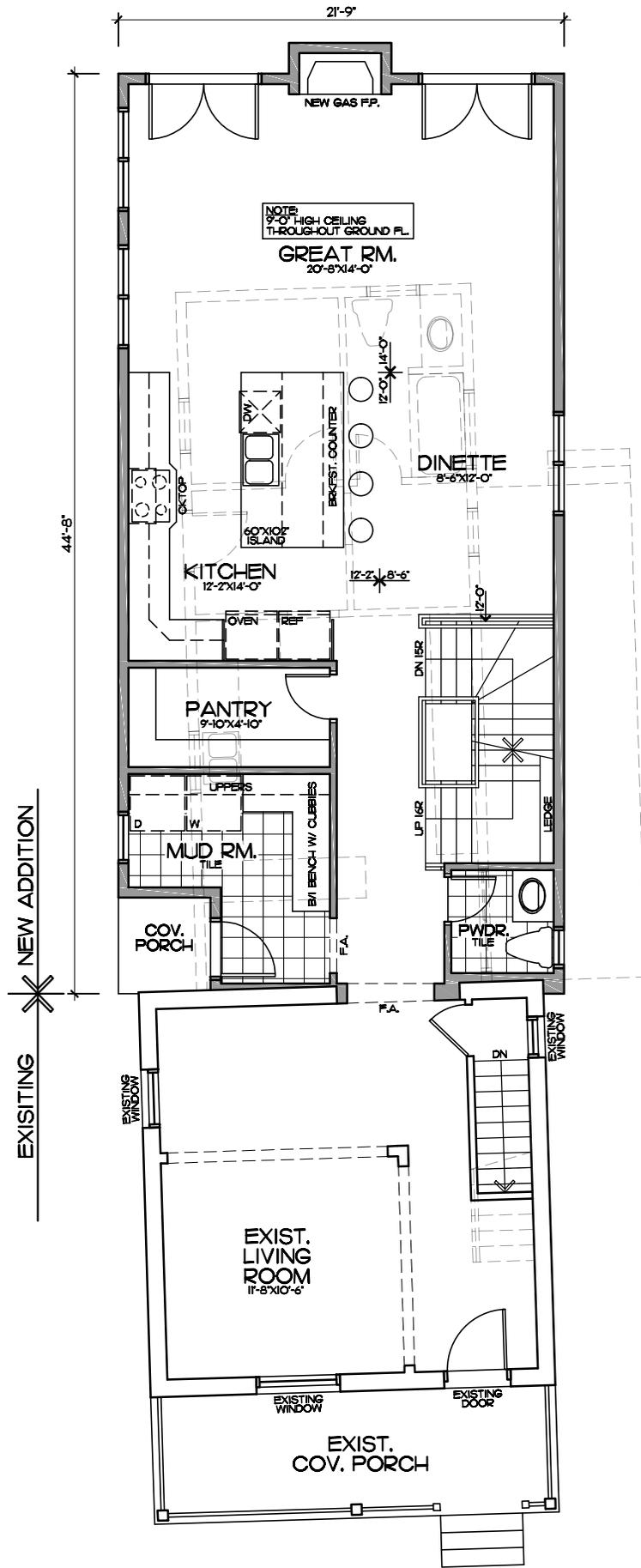


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OWNERS INFORMATION :
 KYLE & LYNNE
 33 VICTORIA ST
 MILTON, ON

SP-02/22

D01



MAIN FLOOR PLAN

EXISTING AREAS
MAIN FLOOR AREA = 877 S.F.
REMOVE MAIN FLOOR AREA = -489 S.F.
SECOND FLOOR AREA = 388 S.F.
TOTAL AREA = 1265 S.F. (117.52 M2)

PROPOSED AREAS
MAIN FLOOR AREA = 952 S.F.
SECOND FLOOR AREA = 952 S.F.
TOTAL AREA = 1904 S.F. (176.88 M2)

TOTAL AREA
TOTAL EXISTING AREA = 776 S.F.
TOTAL PROPOSED AREA = 1904 S.F.
TOTAL AREA = 2680 S.F. (248.97 M2)

LOT AREA = 1066.29 M2
LOT COVERAGE ALLOWED • 20% = 213.26 M2
EXISTING LOT COVERAGE • 4.4% = 47.38 M2 (510 S.F.)
PROPOSED LOT COVERAGE ADDITION • 8.4% = 89.74 M2 (966 S.F.)
PROPOSED LOT COVERAGE GARAGE • 5.3% = 55.74 M2 (600 S.F.)
TOTAL LOT COVERAGE • 18.10% = 192.86 M2 (2076 S.F.)

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	IST SUBMISSION COMMENTS


TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
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 ZONING OFFICER DATE

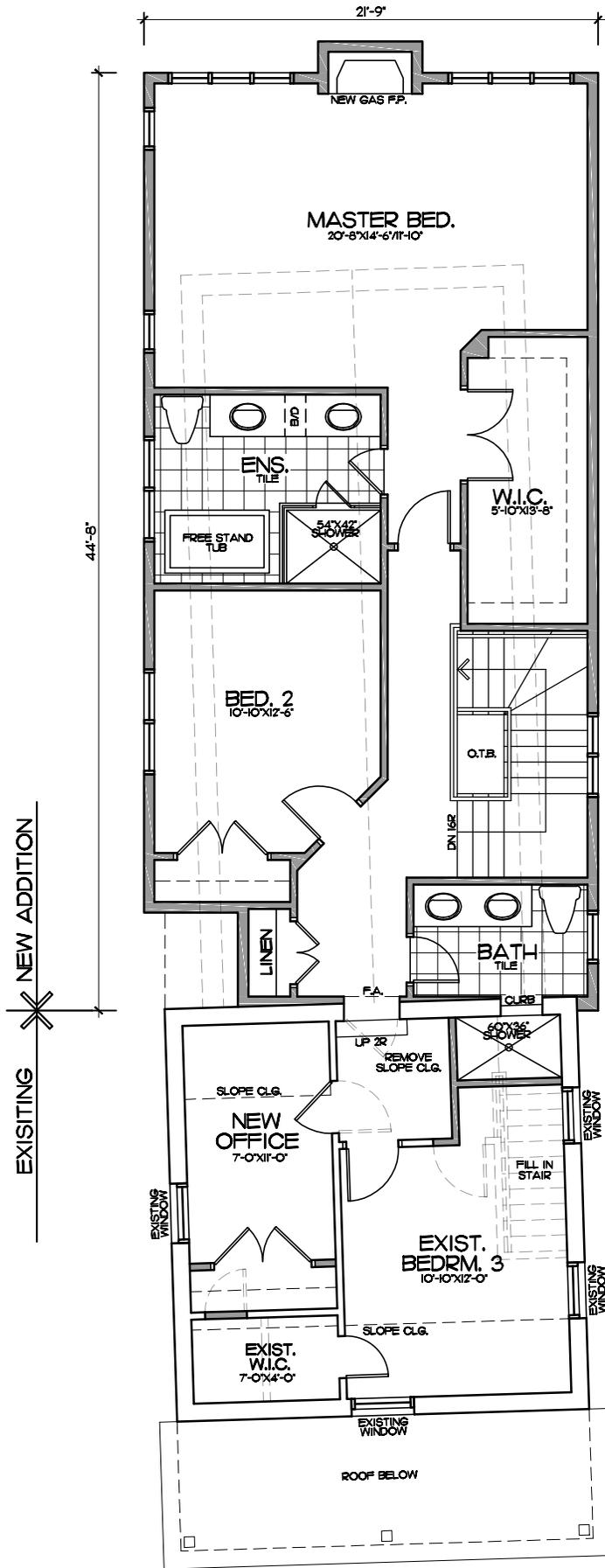


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OWNERS INFORMATION :
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 MILTON, ON

SP-O2/22

D02



SECOND FLOOR PLAN

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS


TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
 robin.campbell AUG 16, 2022
 ZONING OFFICER DATE

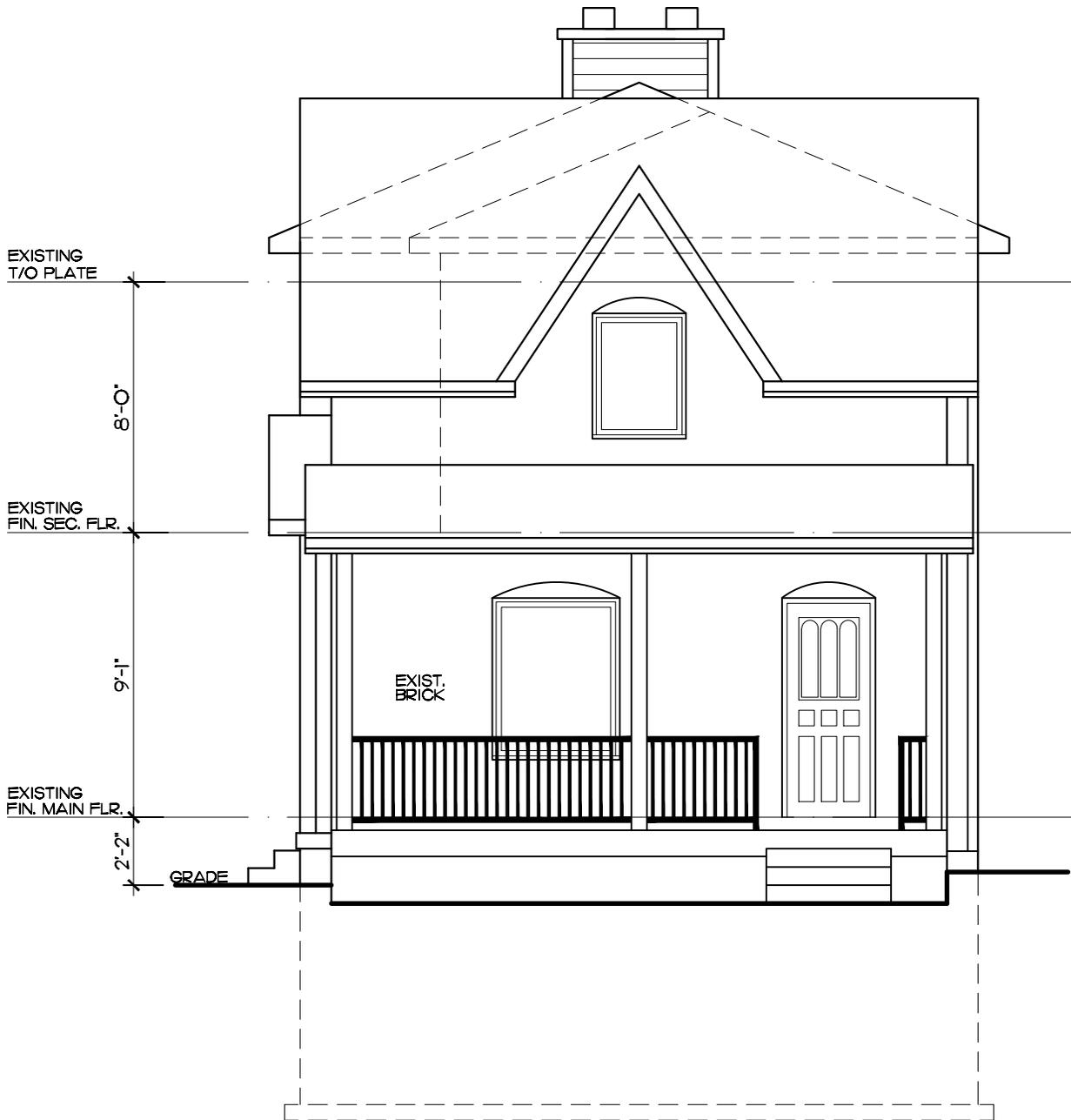


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 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
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 MILTON, ON

SP-O2/22

D03



FRONT ELEVATION

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS



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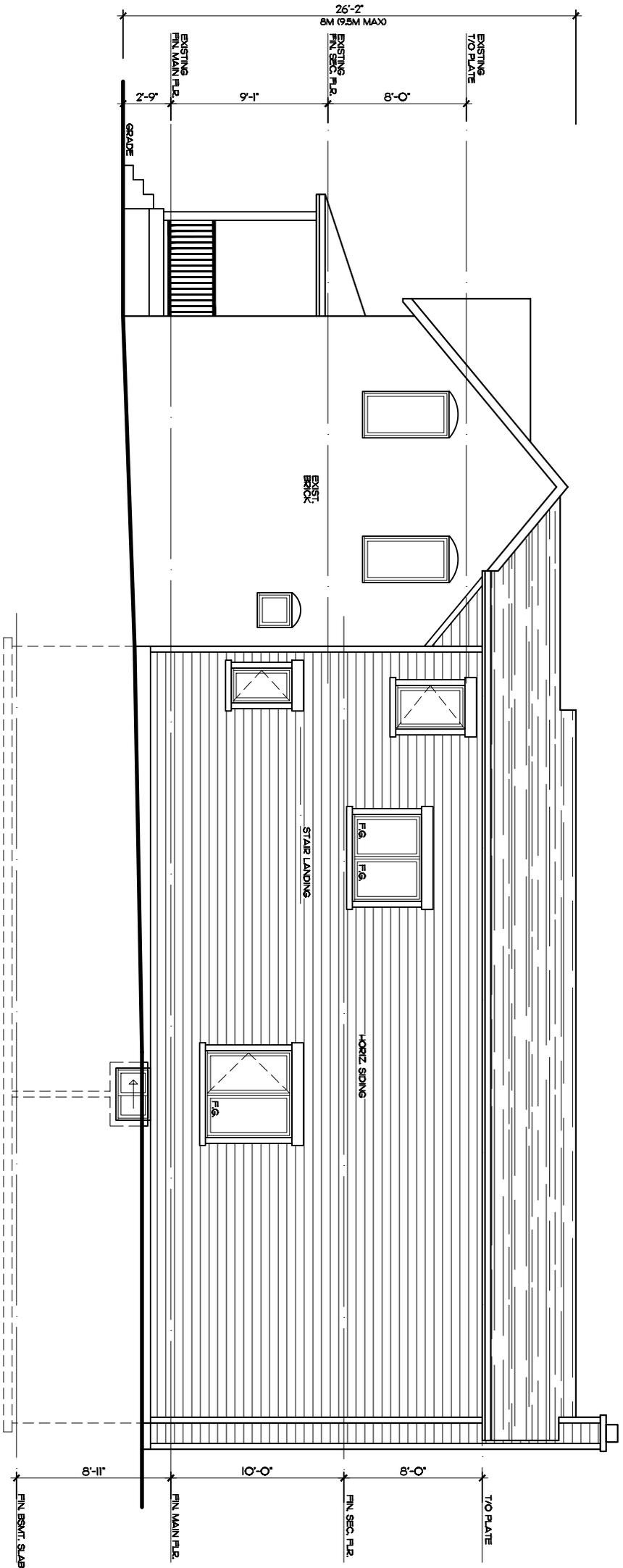
OWNERS INFORMATION :
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MILTON, ON

SP-02/22

D04

RIGHT ELEVATION

EXISTING RENO. ✕ NEW ADDITION




TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
 robin.campbell
 ZONING OFFICER
 AUG 16, 2022
 DATE

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS



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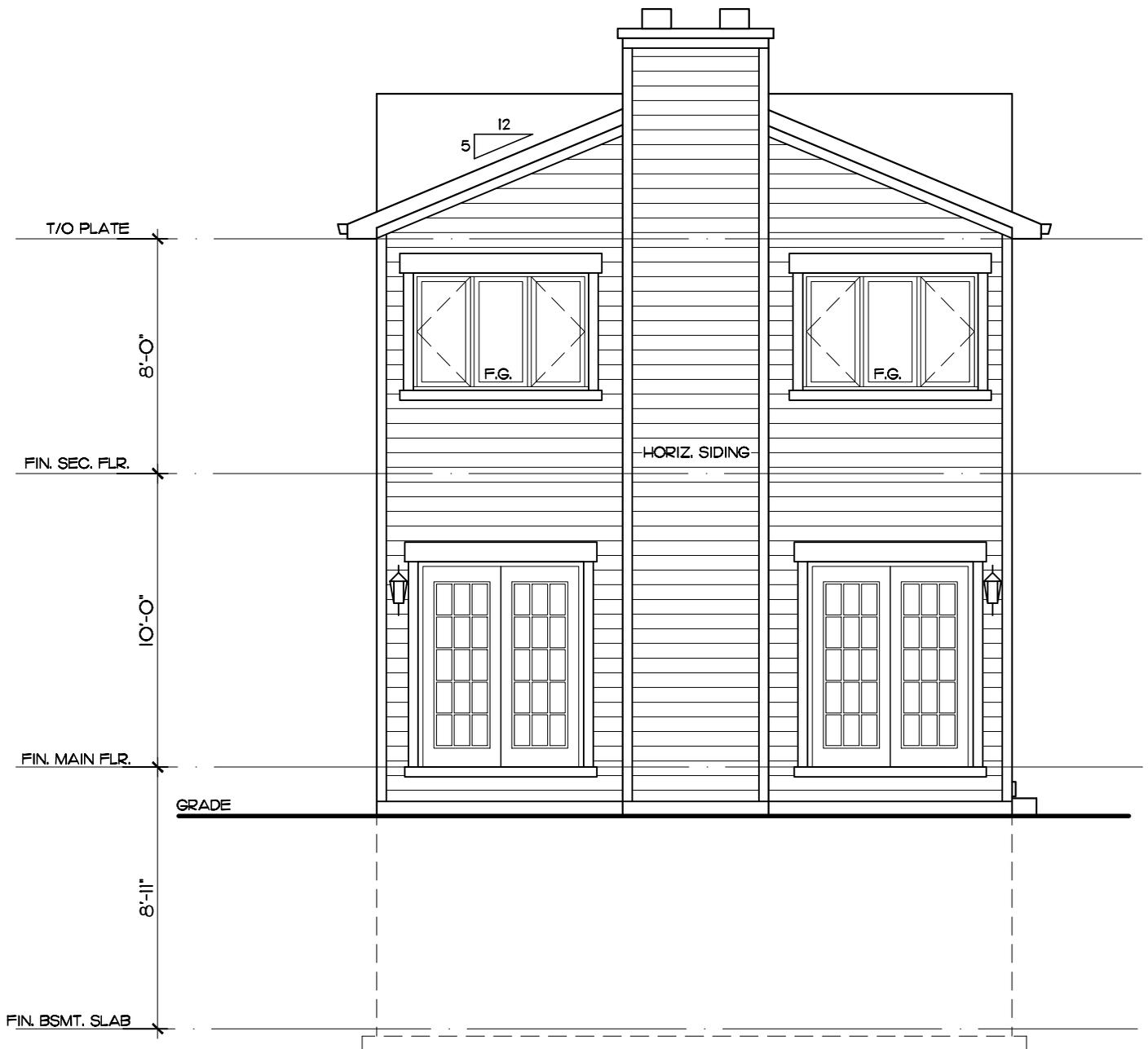
OWNERS INFORMATION :
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 MILTON, ON

SP-O2/22

D05

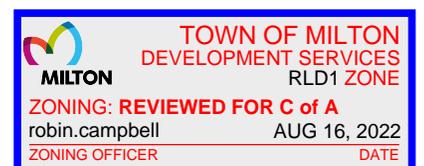
COLOUR CHART – SAME AS MAIN DWELLING

PRODUCT	SUPPLIER	COLOUR
SIDING – HORIZ.	MAIBEC	SEAFRONT BEIGE
TRIM	KAYCAN	LINEN
FRIEZE – ALUM.	KAYCAN	LINEN
WINDOWS	CASA BELLA	WHITE
EXTERIOR DOORS	CASA BELLA	WHITE
GARAGE DOORS	CAR-WAL	ICE WHITE
SHINGLES	BP	BARKWOOD



REAR ELEVATION

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS

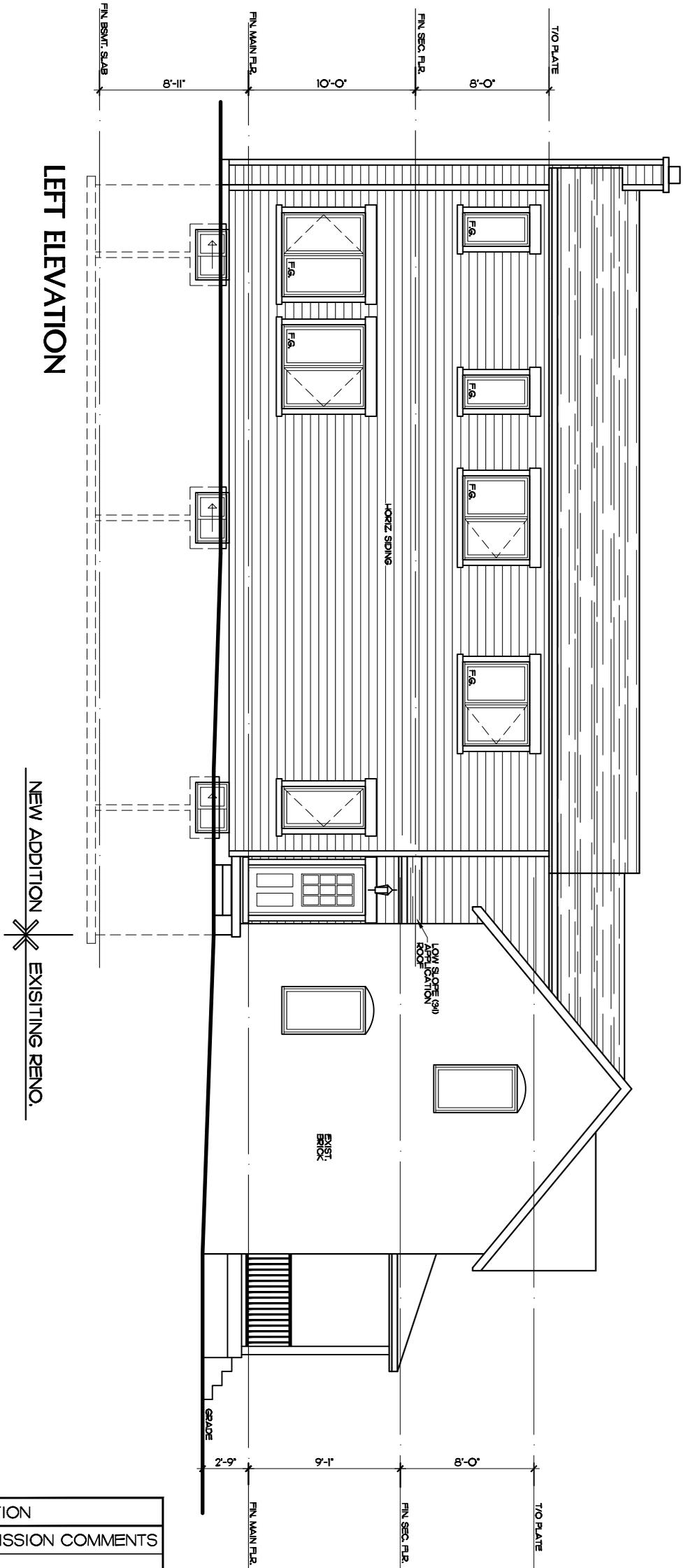


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Cell 905-815-3438
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OWNERS INFORMATION :
KYLE & LYNNE
33 VICTORIA ST
MILTON, ON

SP-02/22

D06



LEFT ELEVATION

NEW ADDITION / EXISTING RENOV.


TOWN OF MILTON
 DEVELOPMENT SERVICES
 RLD1 ZONE
ZONING: REVIEWED FOR C of A
 robin.campbell
 ZONING OFFICER
 AUG 16, 2022
 DATE

REV. #	REV. DATE	DESCRIPTION
1	MAY 17, 2022	1ST SUBMISSION COMMENTS



70 Main Street N., P.O. Box 38
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OWNERS INFORMATION :
 KYLE & LYNNE
 33 VICTORIA ST
 MILTON, ON

SP-O2/22

D07



Memorandum to Committee of Adjustment Members

Minor Variance Application: A22-076/M (750 Whitlock Avenue)

General Description of Application:

Under Section 45(1) of the *Planning Act*, the following minor variances to Zoning By-law 016-2014, as amended, have been requested to facilitate the construction of six residential apartment buildings (four eight-storey and two seven-storey) and one three-storey amenity building:

No.	Zoning By-law Regulation	Variance Request
1.	Zoning: RHD*266 Section: 3 The By-law states that The definition of Lot “means a parcel or contiguous parcels of land in one ownership which is capable of being legally conveyed in accordance with the Planning Act or is described in accordance with a Registered Plan of Condominium”	Requesting permission for the definition of Lot to mean the following: “for the purposes of administering the zoning by-law, the Lot shall constitute Block 586 on the revised approved draft plan of subdivision dated May 16, 2019”.
2.	Zoning: RHD*266 Section: 6.2 Table 6E The By-law states that the minimum required rear yard setback for Buildings B and C is 13.83 metres.	To permit a minimum required rear yard setback of 12.9 metres for Building B (a difference of 0.93 metres) and 11.3 metres (a difference of -2.53 metres) for Building C.
3.	Zoning: RHD*266 Section 6.2 Table 6E The By-law states that required interior side yard setback for Building F is 12.58 metres.	To permit minimum interior side yard setback of 11.1 metres (a difference of -1.48 metres) for Building F.
4.	Zoning: RHD*266 Section 4.19.5 i) Table 4H The By-law states for apartment buildings, balconies are permitted to encroach a maximum of 1.5 metres into a required front, rear, exterior side, or interior side yard.	To permit balconies to encroach a maximum of 2.6 metres (a difference of 1.1 metre encroachment) into a required rear or interior side yard.
5.	Zoning: RHD*266 Section 4.2.1 Table 4A The By-law states that the maximum height permitted for accessory buildings and structures is 3.7 metres.	To permit a maximum height of 12.8 metres (a difference of 9.1 metres) for an amenity building.
6.	Zoning: RHD*266 Section 4.2.1 Table 4A The By-law states that the total aggregate gross floor area permitted for all accessory buildings and structures on the lot is 25 square metres.	To permit a maximum gross floor area of 48.5 square metres for a shade structure and 530 square metres for an amenity building, excluding the covered canopy areas (a difference of 578.5 square metres total).
7.	Zoning: RHD*266 Section 5.8.1 a) Table 5E The By-law states the minimum parking requirement for apartment buildings is 1.5 spaces per unit plus 0.25 spaces per unit for visitors.	To permit a minimum parking requirement for apartment buildings of 1.2 spaces per unit plus 0.25 spaces per unit for visitors (a difference of -0.3 spaces per unit).
8.	Zoning: RHD*266 Section 5.14.1 The By-law states Parking structures below grade or up to a height of 1.6 m above established grade are required to be setback a minimum of 3 metres from a lot line.	To permit a minimum rear yard setback of 0 metre (-3 metres) for a parking structure
9.	Zoning: RHD*266 Section 5.14.2 The By-law states parking structures that project 1.61 metres or more above established grade are subject to the yard requirements for the principal building on the lot	To permit a minimum rear yard setback of 0 metres (a difference of -10.5 metres) for a parking structure.
10.	Zoning: RHD*266 Section 5.8 i) Table 5D The By-law states that the minimum dimensions required for a bicycle parking space is 0.6 m wide, 1.8 metres long, and a minimum vertical clearance of 1.9 metres.	To permit vertical bicycle spaces with minimum dimensions of 0.6 metres wide, 1.5 metres long, and a minimum vertical clearance of 1.9 metres (a difference of -0.3 metres in length).

The subject property is located on the east side of the Sixteen Mile Creek Valley, south of Whitlock Avenue and is known municipally as 750 Whitlock Avenue. The subject property is located in the Boyne Survey Secondary Plan Area and is also referred to as Block 586 on the Mattamy Martin East draft approved plan of subdivision (24T-17002/M). Surrounding land uses include medium density residential to the north, a future neighbourhood park to the east, a future trail, woodlot and the Sixteen Mile Creek Valley lands along with associated buffers to the south and the west. Mattamy is currently working towards registration of the remaining blocks in the draft plan of subdivision which includes the subject lands as well as the surrounding trail, Sixteen Mile Creek Valley and environmental and woodlot buffer blocks.

The current development is subject to Site Plan Control. An application for Site Plan Control (SP-07/21) was submitted in April 2021 and is currently under review. The Site Plan has reached a satisfactory stage to consider the proposed minor variances.

Official Plan Designation (including any applicable Secondary Plan designations):

The subject property is designated “Residential Area” as shown on Schedule B - Urban Area Land Use Plan and Schedule C.10.C. - Boyne Survey Secondary Plan Land Use Plan. The Residential Area designation permits a full range of residential uses and densities. Complementary, non-residential uses that are necessary to create a residential neighbourhood environment are also contemplated. Section C.10.5.1.1. c) of the Boyne Survey Secondary Plan states that high density residential uses consisting of apartment buildings shall have a density range of greater than 100 to 200 units per net hectare. Section 3.2.3.3, subsections i) and ii) of the parent plan states that residential uses in the High Density Residential Use category shall not exceed eight-storeys in height and the height or bulk of the proposed development shall not unduly overshadow any adjacent low and medium residential uses.

It is Staff’s opinion that the proposal is in conformity with the Town’s Official Plan and the Boyne Survey Secondary Plan.

Zoning:

The subject lands are zoned a site-specific Residential High Density 266 (RHD*266) under Zoning By-law 016-2014, as amended. The general Residential High Density (RHD) Zone permits multi-unit residential developments including retirement homes, long term care facilities and apartment buildings. The site-specific provisions speak to additional permitted uses (i.e. townhouse and multiple dwellings) and the provisions that relate to these uses, special site provisions relating to access, minimum front yard setbacks, parking area setbacks from property lines and private street lines, and requires that for apartment buildings, the minimum height shall be 4 storeys to a maximum height of 8 storeys (up to 29 metres).

Through the review of the related site plan application (File SP 07/21), a number of technical zoning deficiencies have been identified by zoning staff (as listed above) to accommodate the proposed development, and the applicant has subsequently applied for relief through this application. Staff will examine these further in the Planning Comments section of this memo.

Consultation

Public Consultation

Notice for the hearing was provided pursuant to the *Planning Act* on September 8, 2022. As of the writing of this report on September 22, 2022 staff did receive a number of email and telephone inquiries from residents living on the north side of Whitlock Avenue, directly across from the subject site. The majority of the inquiries related to the proposed high density development overall as purchasers stated that they were not aware that multiple apartment buildings with a height of up to eight-storeys could be built on the subject lands. The residents noted that at time of purchase, it was their understanding based on the materials available to them, that the block would contain a medium density development that may contain a building that could be four to six storeys in height. In addition, concerns relating to potential environmental impact, privacy, lack of nearby commercial and amenity uses within walking distance, and anticipated traffic impacts on the existing neighbourhood were raised.

Staff did speak with one property owner that lives on Aspen Terrace (north of the subject site) about the following:

- the policy framework that the subject development was evaluated against at the provincial, regional and local levels, encourages a range of dwelling types and densities;
- the zoning for the subject lands (i.e. high density residential block up to eight-storeys) was approved by Council in 2019 prior to draft plan approval of the Martin East subdivision (i.e. the point at which sales can begin);
- warning clauses were to be included in the purchase and sale agreements within the subdivision indicating that this development could be high density in nature;
- technical studies relating to environmental matters, stormwater management and traffic impacts were submitted in support of the subdivision application and updated and provided in support of the more recent site plan application;
- the purpose of the Committee of Adjustment hearing is to evaluate proposed technical variances (outlined in the public notice) to the zoning by-law to accommodate the proposed development currently under site plan review. Further, that there is no mechanism under the Planning Act to further discuss the zoning approved by Council for the subject property; and,
- planning staff would contact Mattamy directly for information regarding the notification provided at the sales centre, on site, and in agreements at time of purchase.

Agency Consultation

No objections were filed with respect to the variance application from Town staff or external agencies. However, building staff did note that separate building permits are required for each building including the underground parking garage, and construction shall not commence prior to obtaining such building permits. Building staff also reminded the applicant that spatial separation and exposure requirements set out in the Building Code must be adhered to where proposing a 0 metre setback.

Development Engineering staff indicated that they had no issues with the proposed setback reductions from a drainage/engineering standpoint. In addition, transportation

staff noted that they support the proposed variances subject to specific TDM measures being added as a condition of approval. See Variance 7 in the comments section below.

Due to the nature of the imposing parking garage structures in proximity to the adjacent trails, Forestry and Operations staff recommended that the applicant consider adding a veneer (brick or stone to match the buildings) on the parking structure walls facing the trail. Operations staff is of the opinion that the veneer and/or stone materials will humanize the imposing concrete walls where they are close to the lot line abutting the trail. Examples of enhanced walls were provided to the applicant. In addition to the aforementioned, staff also noted that there may be an opportunity to provide meshed openings in the parking structure walls in these locations that would allow for natural light to penetrate into the parking garages. As a condition of approval, Forestry and Operations staff will require detailed drawings showing the proposed wall treatments to the satisfaction of the Town.

Both engineering and operations staff noted that trail elevations can be adjusted slightly if there should be an impact on stormwater capture along the interface.

Corporate Services staff stated that among other financial requirements, a letter from the Trustee is required confirming that the landowner is in good standing with the applicable Landowners Group.

Halton Region and Conservation Halton offered no objection to the application as the proposed variances are contained within the development block and the grading plans provided in the associated Site Plan Application (SP-07/21) are in keeping with the approved limits of development and grading identified in the Subwatershed Impact Study (SIS) completed for Boyne Area 5A, 5B, and 6.

The aforementioned items as well as other technical matters will continue to be reviewed through the Site Plan Approval process.

Planning & Development Department Comments:

The proposed development of six residential apartment buildings (four eight-storey and two seven-storey), containing a total of 612 residential units, and a three-storey amenity building, along with surface and underground parking, is currently being reviewed through Site Plan Application SP-07/21. Site Plan staff have identified that the site plan has reached a satisfactory stage to consider the requested minor variances.

Variance 1

Section 3 of the Zoning By-law states that the definition of Lot means a parcel or contiguous parcels of land in one ownership which is capable of being legally conveyed in accordance with the Planning Act or is described in accordance with a registered Plan of Condominium. The subject property through the site plan application process, is being reviewed comprehensively as one parcel of land. Since the applicant intends to construct the buildings in phases (e.g. Buildings A and B, the amenity building, and a portion of the underground parking garage as part of the first phase), it is unknown whether the plan of condominium will apply to the entire site or be separated into multiple condominium plans, and to avoid tedious minor variances in the future, staff has suggested that no matter what the scenario, the property should be viewed as a single lot for the purposes of administering the Zoning By-law.

To ensure that the zoning is applied consistently through the site plan, building permit and plan of condominium applications, planning staff do not object to variance 1.

Variance 2 & 3

Section 6.2, Table 5E sets out the minimum required yard setbacks to ensure that adequate distance is provided between taller buildings and adjacent land uses. Due to the irregular shape of the lot (as it aligns with the natural edges of the woodlot and the Sixteen Mile Creek valley), small components of three straight edged buildings (i.e. Building B, C and F) encroach into the required rear yard and westerly interior side yard. Given that only small segments of the buildings encroach into the required setbacks, the encroachments are slight, and there is no negative impact on grading, drainage or the natural features that surround the subject property, staff does not object to variances 2 and 3.

Variance 4

Section 4.19.5 i), Table 4H of the Zoning By-law states that for apartment buildings, balconies are permitted to encroach a maximum of 1.5 metres into a required front, rear, exterior side, or interior side yard. The intent of this provision is to allow for some flexibility and variation in the building elevations, but at the same time ensure that the balconies do not protrude so far into a required yard that they negatively impact neighbouring properties or infrastructure such as hydro lines, street lights, etc.

As noted by the applicant, deeper balconies (terraces) have been introduced for the first three-storeys of Buildings B, C and E to address urban design comments provided by Town staff. All three of these buildings are located at the rear of the property adjacent to the woodlot. While there are variations in the building setbacks due to the irregular lot line at the rear, the additional encroachment will not appear significant and does not negatively impact any neighbouring properties or infrastructure.

For these reasons, planning staff does not object to variances 4.

Variance 5 & 6

Section 4.2.1, Table 4A sets out provisions relating to accessory buildings and structures located within Residential and Future Development Zones, including the maximum total aggregate gross floor area of all accessory buildings and structures and the maximum height. Buildings and structures that we typically see within amenity areas in an apartment complex include shade structures, gazebos, maintenance sheds and storage buildings. Often times, amenity buildings such as the proposed are attached to the adjacent apartment buildings. Where they are attached, the amenity buildings are considered part of the principal building and are therefore subject to the requirements that apply to such principal buildings on the lot.

Since the proposed amenity building is detached, it falls into the category of an accessory building. In addition, a larger shade structure is proposed. While the aggregate size of the proposed accessory buildings and structures on the lot may seem extensive on their own, they are not out of scale with the size of the site or the overall development proposal. In addition, while the amenity building will have a larger presence due to its size and the increase in height, it will not be overwhelming in the context of its surroundings and still appear secondary to the main built form (i.e. apartment buildings).

It should be noted that staff worked with the applicant to consider placing the amenity building in its current location so that it creates a focal point from the entrance to the development (at the roundabout) to the woodlot at the rear.

For the reasons noted above, staff does not object to variances 5 and 6.

Variance 7

For the proposed buildings on the subject site, the Zoning By-law states that residential parking shall be provided at a rate of 1.5 parking spaces per dwelling unit for apartment buildings. The intent of the required rate is to capture those situations where organized transit or walkability is not as prevalent.

Given the focus on transit and the proximity of the proposed development to the major intersections of Whitlock and Regional Road 25, and Whitlock and Thompson Road, and nearby schools, parks and trails within the immediate area, the applicant has proposed a parking rate of 1.2 parking spaces per dwelling unit for this development.

To support the requested reduction in parking spaces, the applicant provided a Parking Assessment for the Martin East Valley Residential Development, dated August 24, 2022, by GHD as part of this minor variance application. The rationale for the reduction in parking considered existing and proposed transit routes, various transportation demand management (TDM) measures available for the site, as well as existing parking demand statistics at the Varga Soleil development located at the southeast corner of Tremaine Road and Gordon Krantz Avenue on west side of Town. The study also noted that the proposed reduction is also consistent with the Town of Milton's Official Plan which seeks to promote and support traffic movement by walking, cycling and public transit.

Transportation staff reviewed the Traffic Impact Study associated with the site plan application as well as the rationale provided in the aforementioned Parking Assessment that supports the reduction in parking rate for this minor variance application. Transportation staff noted that they had no concerns with approval of the minor variance application, subject to the following conditions of approval:

1. The Owner must demonstrate to the satisfaction of the Town of Milton that they will be able to achieve all proposed TDM measures outlined in the Parking Assessment dated August 24 2022 by GHD including any ongoing programming or management that may be required for program success. All costs associated with the implementation of the TDM measures are the responsibility of the Owner. The required TDM measures are as follows:
 - The Owner agrees to provide a minimum of 455 long-term secure bicycle parking spaces and 123 short-term visitor bicycle parking spaces. The long-term bicycle parking areas must be locked and have access permitted to residents only. The bicycle parking facilities must comply with the Town of Ajax and /or City of Toronto Bicycle Parking Guidelines. The bicycle parking spaces must be shown on the plans including details of the lockers/racks.
 - The Owner agrees to provide active uses at-grade along street frontages via sidewalk connectivity (i.e. pedestrian connections from the building entrances to municipal sidewalks/paths along the frontage of the site, to the property line

of 750 Whitlock Ave). The sidewalks must to be designed and built to Town of Milton specifications and must be shown on the appropriate plans.

- The Owner agrees to charge for parking as a separate cost to occupants. All units are to be unbundled from parking spaces. The condo/rental agreement between the occupant and the property owner must be provided noting the cost of a parking space and the ability for occupants to opt in or out of having a parking space. The monthly cost of parking should be greater than the cost of a monthly transit pass.
- The Owner agrees to provide a bicycle service station equipped with tools for repair and maintenance on site. The bicycle service station must be shown on the plans in an area which is convenient and functional, and a detail must be provided.

Staff recommends that the aforementioned TDM requirements be added as a condition of approval in relation to the minor variance.

With the above noted condition and considering that:

- transit routes are established on Regional Road 25 and Thompson Road and Whitlock Avenue is a designated collector road where future transit services are planned;
- Whitlock Avenue will be used as a significant pedestrian and cycling route that will provide excellent connectivity to future multi-use paths and cycling lanes along Regional Road 25 and Thompson Road. Whitlock Avenue is planned to include a sidewalk on the north side, a multi-use path on the south side, and on-street bike lanes that will provide connections to a lit asphalt trail that will be constructed adjacent to the Sixteen Mile Creek Valley and woodlot surrounding the subject lands;
- a neighbourhood park is located immediately to the east, and two schools are within walking distance of the subject lands;
- additional commercial development is nearing site plan approval at the southeast corner of Thompson Road and Louis St. Laurent;
- this assessment along with a full Transportation Impact Study (TIS) has been reviewed as part of the site plan application; and,
- all required visitor and bicycle parking requirements have been met or exceeded

planning staff does not object to Variance 7.

Variance 8 & 9

Sections 5.14.1 and 5.14.2 of the Zoning By-law state that parking structures below grade and up to 1.6 metres above established grade are required to be setback a minimum of 3.0 m from a lot line, and those parking structures that project 1.61 metres above established grade are subject to the yard requirements for the principal building on the lot. The intent of this provision is to ensure that Regional and Town infrastructure is not compromised while work is being done on private property.

The applicant is requesting permission to decrease the rear yard setback in both instances to 0 metres in order to recognize the location of the proposed underground garage established through the site plan approval process thus far. While all efforts are made to meet the required setbacks, there are instances where adjustments are required to accommodate parking and infrastructure that is needed on site. Town Engineering and Operations staff have indicated that they have no objection to the requested variances as it relates to the proposed underground garage and its relationship to the lot line abutting the future trail located to the south, so long as the parking structure walls protruding above the ground are enhanced with appropriate design materials. This requirement will be a condition of approval.

For these reasons, planning staff does not object to variances 8 and 9.

Variance 10

Section 5.8 i), Table 5D states that the minimum dimensions required for a bicycle parking space is 0.6 metres wide by 1.8 metres long, with a vertical clearance of 1.9 metres. This provision assumes that the bicycle has two wheels on the ground. Since the proposed bicycle parking will be vertical in nature, the applicant is requesting a reduction in the length.

It should be noted that an amendment is underway to add provisions for vertical bicycle parking spaces in the zoning by-law. However, at the current time, the by-law does not have requirements relating to this orientation.

Given that the requested bicycle size is appropriate for the vertical orientation proposed, planning staff does not object to variance 10.

Planning staff have reviewed the requested variances and offer no objection to their approval as the proposal makes efficient use of the land, will not alter the view, sightlines or personal enjoyment of the subject property or any neighbouring properties, and will not be of a detrimental impact to the subject lands, the street, or the surrounding area.

Based on the foregoing, staff is of the opinion that the requested variance is minor in nature, conforms to the general policies and intent of both the Official Plan and Zoning By-law, and is appropriate for the development and use of the land.

Recommendation:

THAT the application for minor variance **BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. That the apartment buildings and amenity building shall be located and constructed in accordance with the site plan and building elevations, prepared by KNYMH, date stamped by Town Zoning on August 30, 2022 and August 31, 2022, respectively.
2. That all required building permits be applied for and received prior to construction of all buildings and the underground parking structure.
3. That enhanced wall treatment/finishing details be provided on the exposed underground parking structure walls to the satisfaction of Engineering and

Operations staff and the wall treatment/finishing details be included on the final drawing set of the associated site plan application.

4. The Owner must demonstrate to the satisfaction of the Town of Milton that they will be able to achieve all proposed TDM measures outlined in the Parking Assessment dated August 24 2022 by GHD including any ongoing programming or management that may be required for program success. All costs associated with the implementation of the TDM measures are the responsibility of the Owner. The required TDM measures are as follows:
 - The Owner agrees to provide a minimum of 455 long-term secure bicycle parking spaces and 123 short-term visitor bicycle parking spaces. The long-term bicycle parking areas must be locked and have access permitted to residents only. The bicycle parking facilities must comply with the Town of Ajax and /or City of Toronto Bicycle Parking Guidelines. The bicycle parking spaces must be shown on the plans including details of the lockers/racks.
 - The Owner agrees to provide active uses at-grade along street frontages via sidewalk connectivity (i.e. pedestrian connections from the building entrances to municipal sidewalks/paths along the frontage of the site, to the property line of 750 Whitlock Ave). The sidewalks must to be designed and built to Town of Milton specifications and must be shown on the appropriate plans.
 - The Owner agrees to charge for parking as a separate cost to occupants. All units are to be unbundled from parking spaces. The condo/rental agreement between the occupant and the property owner must be provided noting the cost of a parking space and the ability for occupants to opt in or out of having a parking space. The monthly cost of parking should be greater than the cost of a monthly transit pass.
 - The Owner agrees to provide a bicycle service station equipped with tools for repair and maintenance on site. The bicycle service station must be shown on the plans in an area which is convenient and functional, and a detail must be provided.
5. That the approval be subject to an expiry of two (2) years from the date of decision if the conditions are not met, if the proposed development does not proceed and/or a building permit is not secured.

Angela Janzen

Angela Janzen, MCIP, RPP
Senior Planner, Development Review

September 22, 2022



Town of Milton
150 Mary Street
Milton, ON L9T 6Z5

T 905-878-7252
www.milton.ca

Committee of Adjustment & Consent

PUBLIC HEARING NOTICE

Minor Variance Application

Town File: A22/076/M

TAKE NOTICE that pursuant to S.45 of the *Planning Act*, R.S.O. 1990, C.P.13, as amended, this application will be considered by the Milton Committee of Adjustment and Consent starting at 6:00 p.m. on Thursday, September 29, 2022 by live-streaming on the Town of Milton's YouTube Channel at <http://www.youtube.com/c/townofmiltonontario>.

You are receiving this notice because the applicant submitted a minor variance application to the Town of Milton. As stipulated by the *Planning Act*, notice must be provided to property owners within 60 metres of the area to which the application applies. Further details on this application, including drawings, can be viewed by contacting the Secretary Treasurer, noted below.

Application Details: The property owner of 750 Whitlock Avenue in the Town of Milton under Section 45(1) of the *Planning Act*, is requesting the Committee of Adjustment to authorize a minor variance to permit New development consisting of 6 proposed apartment buildings and 1 amenity building. Therefore, the following variance to Zoning By-law 016-2014, as amended, is required:

No.	Zoning By-law Regulation	Variance Request
1.	Zoning: RHD*266 Section: 3 The By-law states that The definition of Lot "means a parcel or contiguous parcels of land in one ownership which is capable of being legally conveyed in accordance with the Planning Act or is described in accordance with a Registered Plan of Condominium"	Requesting permission for the definition of Lot to mean the following: "for the purposes of administering the zoning by-law, the Lot shall constitute Block 586 on the revised approved draft plan of subdivision dated May 16, 2019".
2.	Zoning: RHD*266 Section: 6.2 Table 6E The By-law states that the minimum required rear yard setback for Buildings B and C is 13.83 metres.	To permit a minimum required rear yard setback of 12.9 metres for Building B (a difference of 0.93 metre) and 11.3 metres (a difference of -2.53 metres) for Building C.
3.	Zoning: RHD*266 Section 6.2 Table 6E The By-law states that required interior side yard setback for Building F is 12.58 metres.	To permit minimum interior side yard setback of 11.1 metres (a difference of -1.48 metres) for Building F.
4.	Zoning: RHD*266 Section 4.19.5 i) Table 4H The By-law states for apartment buildings, balconies are permitted to encroach a maximum of 1.5 metres into a required front, rear, exterior side, or interior side yard.	To permit balconies to encroach a maximum of 2.6 metres (a difference of 1.1 metre encroachment) into a required rear or interior side yard.
5.	Zoning: RHD*266 Section 4.2.1 Table 4A The By-law states that the maximum height permitted for accessory buildings and structures is 3.7 metres.	To permit a maximum height of 12.8 metres (a difference of 9.1 metres) for an amenity building.
6.	Zoning: RHD*266 Section 4.2.1 Table 4A The By-law states that the total aggregate gross floor area permitted for all accessory buildings and structures on the lot is 25 square metres.	To permit a maximum gross floor area of 48.5 square metres for a shade structure and 530 square metres for an amenity building, excluding the covered canopy areas (a difference of 578.5 square metres total).
7.	Zoning: RHD*266 Section 5.8.1 a) Table 5E The By-law states the minimum parking requirement for apartment buildings is 1.5 spaces per unit plus 0.25 spaces per unit for visitors.	To permit a minimum parking requirement for apartment buildings of 1.2 spaces per unit plus 0.25 spaces per unit for visitors (a difference of -0.3 spaces per unit).
8.	Zoning: RHD*266 Section 5.14.1 The By-law states Parking structures below grade or up to a height of 1.6 m above established grade are required to be setback a minimum of 3 metres from a lot line.	To permit a minimum rear yard setback of 0 metre (-3 metres) for a parking structure
9.	Zoning: RHD*266 Section 5.14.2 The By-law states parking structures that project 1.61 metres or more above established grade are subject to the yard requirements for the principal building on the lot	To permit a minimum rear yard setback of 0 metres (a difference of -10.5 metres) for a parking structure.
10.	Zoning: RHD*266 Section 5.8 i) Table 5D The By-law states that the minimum dimensions required for a bicycle parking space is 0.6 m wide, 1.8 metres long, and a minimum vertical clearance of 1.9 metres.	To permit vertical bicycle spaces with minimum dimensions of 0.6 metres wide, 1.5 metres long, and a minimum vertical clearance of 1.9 metres (a difference of -0.3 metres in length).

Due to the COVID-19 pandemic, attendance at Town Hall is restricted and public meetings are being held by videoconference only. Instructions on how to view the meeting or participate by written submission, videoconference or telephone are provided below.

Get Involved: The community is invited to virtually attend and/or participate in the statutory public hearing. You can fill out the delegate request form at milton.ca/delegations. For assistance filling out the form, email townclerk@milton.ca or call 905-878-7252 ext. 0. Forms must be submitted by noon on Tuesday, September 27, 2022.

Provide written comments	By email (preferred) to the Secretary-Treasurer noted below. Include your name, address, application number or address of the property to which you are providing comments. To allow all Committee Members the opportunity to review comments, please provide all written submission no later than Monday, September 26, 2022.
Speak/present to Committee:	Fill out the delegate request form by 12 p.m. on Tuesday, September 27, 2022 to register as a delegate and speak at the meeting via audio or video.
Dial in to the Hearing:	If you miss the delegate request deadline, you can request to make an oral submission during the meeting by dialing in to the dedicated phone number at 1-866-511-0021 or emailing townclerk@milton.ca .

Review the electronic delegate meeting guide at milton.ca/delegations before submitting your request. Town staff will contact you with further instructions. You will be given step-by-step instructions on how to enter and participate in the meeting. Those who register during the course of a live meeting will not have the ability to provide on-screen presentations due to the absence of prescreening. All written submissions received will be forwarded to Council following the meeting.

If you have received this notice and are an owner of a property and said property contains seven (7) or more residential units, you are required to post this notice in a location that is visible to all the residents.

Contact: Please contact the Secretary-Treasurer, as noted below, if wish to be notified of the Committee's decision of this application. This will also entitle you to be advised of any future Local Planning Appeal Tribunal proceedings.

Personal information is collected under the authority of the *Planning Act*, and may be contained in an appendix to the staff report, published in the meeting agenda, delegation list and/or the minutes of the public meeting and made part of the public record. The Town of Milton collects this information in order to make informed decisions on the relevant issues and to notify interested parties of Committee's decisions. It may also be used to serve notice of a Ontario Land Tribunal hearing. The disclosure of this information is governed by the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56. Questions about this collection and disclosure should be directed to the Committee of Adjustment and Consent Office, Development Services Department, 150 Mary Street, Milton, ON L9T 6Z5 or 905-878-7252.

Catherine Susidko

Catherine Susidko
 Secretary-Treasurer, Committee of Adjustment and Consent
 ☎ 905-878-7252, ext. 2315 ✉ catherine.susidko@milton.ca

Date: Thursday, September 8, 2022

Location Map:



PLAN 20M-

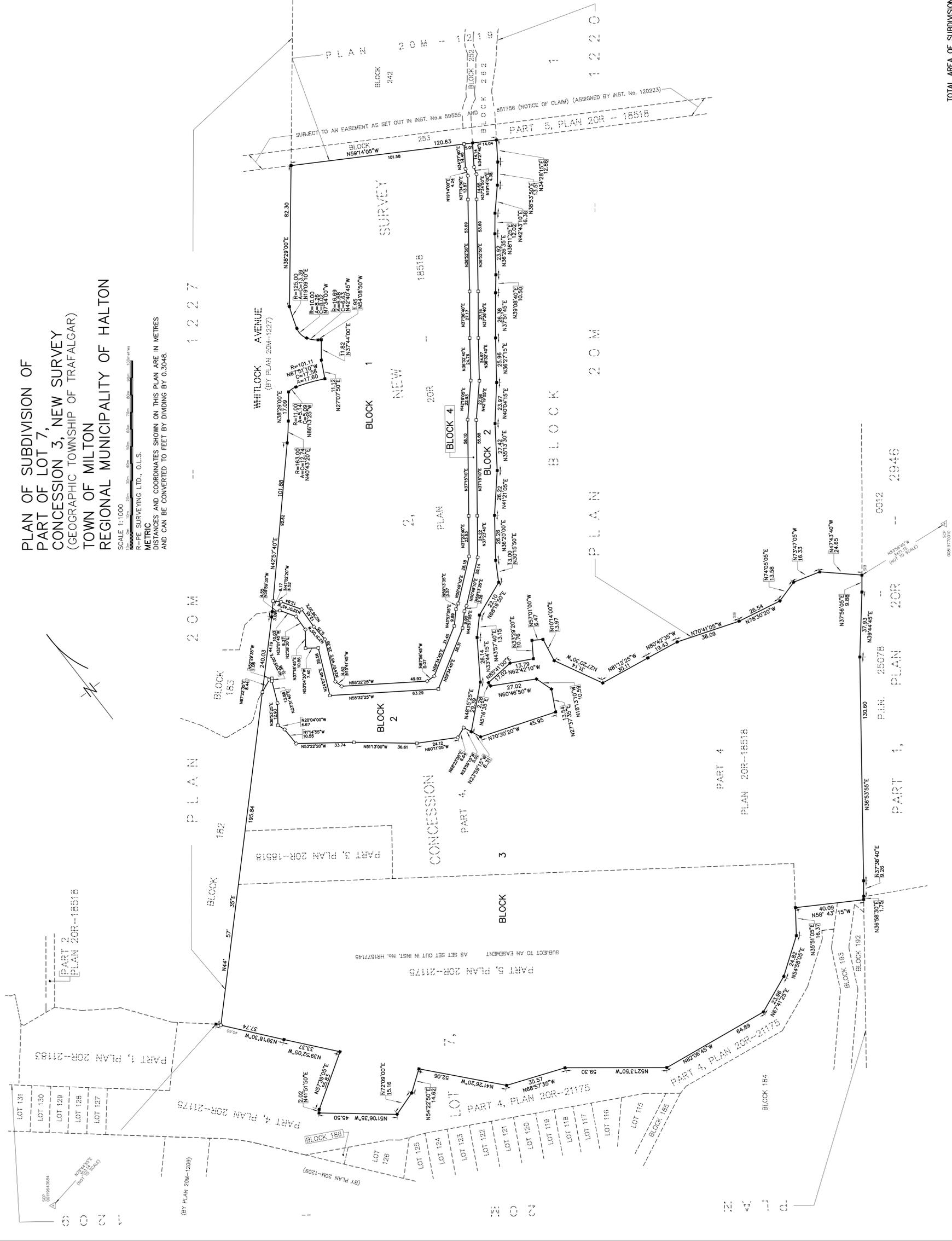
I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF HALTOW (No. 20) AT _____ O'CLOCK ON THE DAY OF _____, 2020 AND ENTERED IN THE PARCEL REGISTER(S) FOR PROPERTY IDENTIFIER'S _____

AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. _____

REPRESENTATIVE FOR LAND REGISTRAR _____

PLAN OF SUBDIVISION OF PART OF LOT 7, CONCESSION 3, NEW SURVEY (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF MILTON REGIONAL MUNICIPALITY OF HALTON

SCALE 1:1000
R-P-E SURVEYING LTD., O.L.S.
METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:
1. BLOCKS 1, 2, 3, AND 4 HAVE BEEN SET OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
DATED THE _____ DAY OF _____, 2020.

MATTAMY (BROWNIDGE) LIMITED

JASON SUDDERGAARD
AUTHORIZED SIGNING OFFICER
I HAVE THE AUTHORITY TO BIND THE CORPORATION

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2020.
DATE _____ 2020

R. DENBREIDER
ONTARIO LAND SURVEYOR

- NOTES**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - SSB DENOTES SHORT STANDARD IRON BAR
 - SB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - (RFE) DENOTES R-P-E SURVEYING LTD., O.L.S.
 - P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
 - SEP DENOTES SPECIFIED CONTROL POINT

BEARING NOTE

BEARINGS ARE GRID, UTM, ZONE 17, NAD83 (ORIGINAL), DERIVED FROM:
SOUTH AMERICAN DATUM 57
NORTH 4816075.119 EAST 897998.447
NORTH 4816075.119 EAST 897998.447
COORDINATES ARE UTM, ZONE 17, NAD83 (ORIGINAL), TO URBAN ACCURACY PER THE SURVEYOR'S ACT AND REGULATIONS MADE UNDER THEM. BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99996.

MUNICIPAL APPROVAL

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, AS AMENDED, BY THE COMMISSIONER, DEVELOPMENT SERVICES FOR THE CORPORATION OF THE TOWN OF MILTON
THIS _____ DAY OF _____, 2020.

CLARENCE TOSCANINI, M.P.S.P.
COMMISSIONER OF DEVELOPMENT SERVICES
THE CORPORATION OF THE TOWN OF MILTON
(AUTHORITY GRANTED BY BY-LAW 100-98)



TOTAL AREA OF SUBDIVISION = 11.870 Ha.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.

ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM THE TOWN OF MILTON. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OWN WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	DATE (DD/MM/YY)	BY
ISSUED FOR PERMIT	1	27/08/22	KNOVAT
ISSUED FOR SUBMISSION	2	27/08/22	KNOVAT

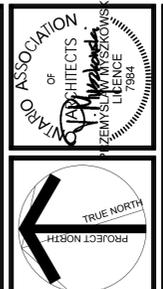
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED.

REVISIONS TO DRAWING	No.	DATE (DD/MM/YY)
NOT FOR CONSTRUCTION		

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

KNYMH
ARCHITECTURE • SOLUTIONS

KNYMH INC.
1006 SKYVIEW DRIVE • SUITE 101
BURLINGTON, ONTARIO • L7P 0V1
T 905.689.6985
F 905.689.6984
info@knytmh.com
www.knytmh.com



TOWN OF MILTON SHEET FILE NUMBER: # SP/0121

MILE & CREEK

MILTON, ONTARIO

DRAWING SHEET TITLE:
(AMENITY) 1st FLOOR PLAN

DRAWING SCALE:
As indicated

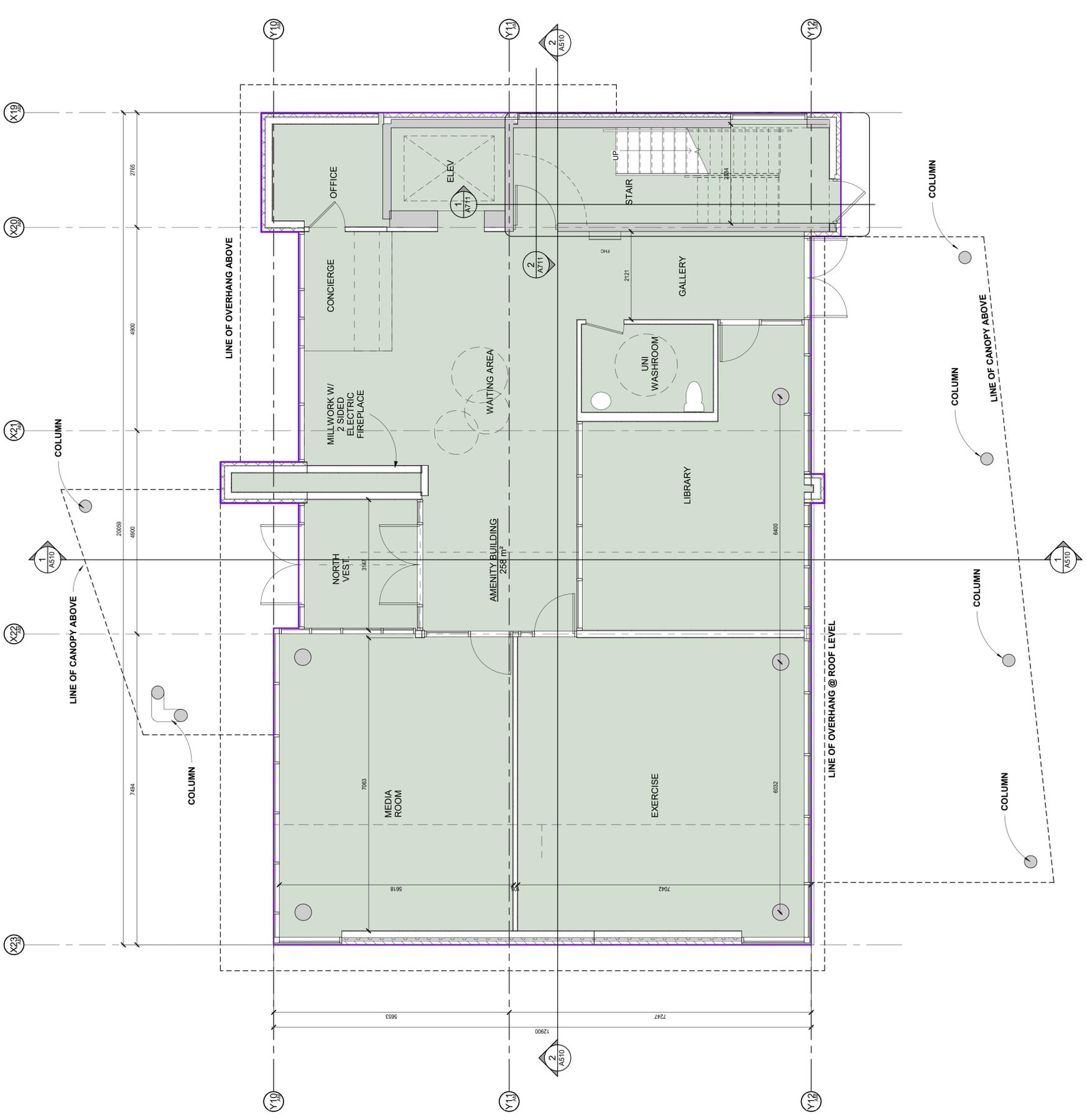
PROJECT NUMBER:
17029

DRAWN BY:
Author

CHECKED BY:
Checker

DRAWING VERSION:
A211

PLOT DATE:



LEGEND

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 X X X X X 3/4 HOUR FIRE SEPARATION
 O O O O O 1.0 HOUR FIRE SEPARATION
 M M M M M 1.5 HOUR FIRE SEPARATION
 D D D D D 2.0 HOUR FIRE SEPARATION

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 [Symbol] TYPICAL GYPSUM BULKHEAD
 [Symbol] INSULATED BULKHEAD
 [Symbol] TYPICAL GYPSUM BULKHEAD

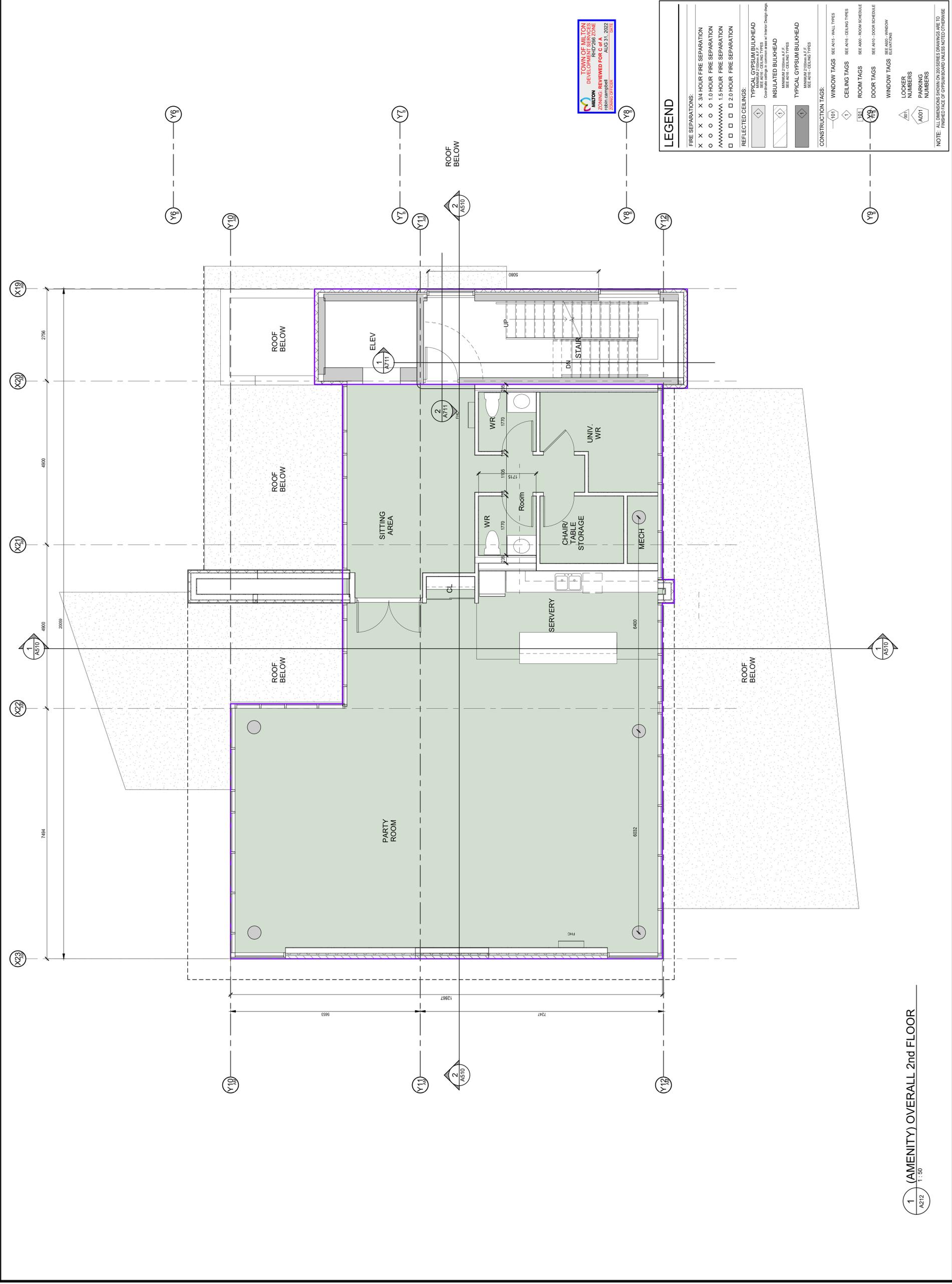
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 [Symbol] CEILING TAGS SEE A115 - CEILING TYPES
 [Symbol] ROOM TAGS SEE A100 - ROOM SCHEDULE
 [Symbol] DOOR TAGS SEE A110 - DOOR SCHEDULE
 [Symbol] WINDOW TAGS SEE A110 - WINDOW SCHEDULE

LOCKER NUMBERS
 [Symbol] A01

PARKING NUMBERS
 [Symbol] A001

NOTE: ALL DIMENSIONS SHOWN ON 200 SERIES DRAWINGS ARE TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE

1 (AMENITY) OVERALL 1st FLOOR
1:50
A211



CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
 ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM THE TOWN OF MILTON. ANY CHANGES MUST BE MADE BY THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OWN WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	(DD/MM/YY)	BY
SEALED SUBMISSION	1	27.08.22	KNYM/H
SEALED SUBMISSION	2	27.08.22	KNYM/H

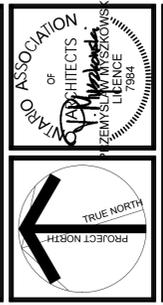
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	(DD/MM/YY)	BY
NOT FOR CONSTRUCTION			

BUILDING PERMIT NUMBER:
 NOT FOR CONSTRUCTION WITHOUT PERMIT

KNYMH
 ARCHITECTURE • SOLUTIONS

KNYMH INC.
 1006 SKYVIEW DRIVE • SUITE 101
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 T 905.689.6595
 F 905.689.6594
 www.knymh.com
 info@knymh.com



TOWN OF MILTON SHEET FILE NUMBER: # SP/0121

MILE & CREEK

MILTON, ONTARIO

DRAWING SHEET TITLE:
(AMENITY) 2nd FLOOR PLAN

DRAWING SCALE: As indicated	PROJECT NUMBER: 17029
DRAWN BY: Author	CHECKED BY: Checked
DRAWING VERSION:	DRAWING SHEET NUMBER: A212
FLOT DATE:	

LEGEND

FIRE SEPARATIONS:
 X X X X 3/4 HOUR FIRE SEPARATION
 O O O O 1.0 HOUR FIRE SEPARATION
 W W W W W W 1.5 HOUR FIRE SEPARATION
 D D D D 2.0 HOUR FIRE SEPARATION

REFLECTED CEILINGS:
 [Symbol] TYPICAL GYPSUM BULKHEAD
 [Symbol] INSULATED BULKHEAD
 [Symbol] TYPICAL GYPSUM BULKHEAD

CONSTRUCTION TAGS:
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 [Symbol] CEILING TAGS
 [Symbol] ROOM TAGS
 [Symbol] DOOR TAGS
 [Symbol] WINDOW TAGS
 [Symbol] LOCKER NUMBERS
 [Symbol] PARKING NUMBERS

NOTE: ALL DIMENSIONS SHOWN ON 200 SERIES DRAWINGS ARE TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE



1 (AMENITY) OVERALL 2nd FLOOR
 1:50

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM THE TOWN OF MILTON. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OWN WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	(DD/MM/YY)	BY	DATE
ISSUED FOR PERMIT	1	27.08.22	KNYMH	
ISSUED FOR SUBMISSION	2	27.08.22	KNYMH	

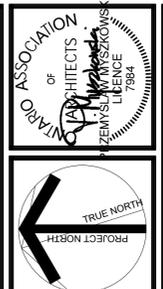
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED.

REVISIONS TO DRAWING	No.	(DD/MM/YY)	BY	DATE
NOT FOR CONSTRUCTION				

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

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ARCHITECTURE • SOLUTIONS

KNYMH INC.
1006 SKYVIEW DRIVE • SUITE 101
BURLINGTON, ONTARIO • L7P 0V1
T 905.689.6985
F 905.689.6984
www.knymh.com
info@knymh.com



TOWN OF MILTON SHEET FILE NUMBER: # SP/0121

MILE & CREEK

MILTON, ONTARIO

DRAWING SHEET TITLE:
(AMENITY) ROOFTOP TERRACE

DRAWING SCALE:
As Indicated

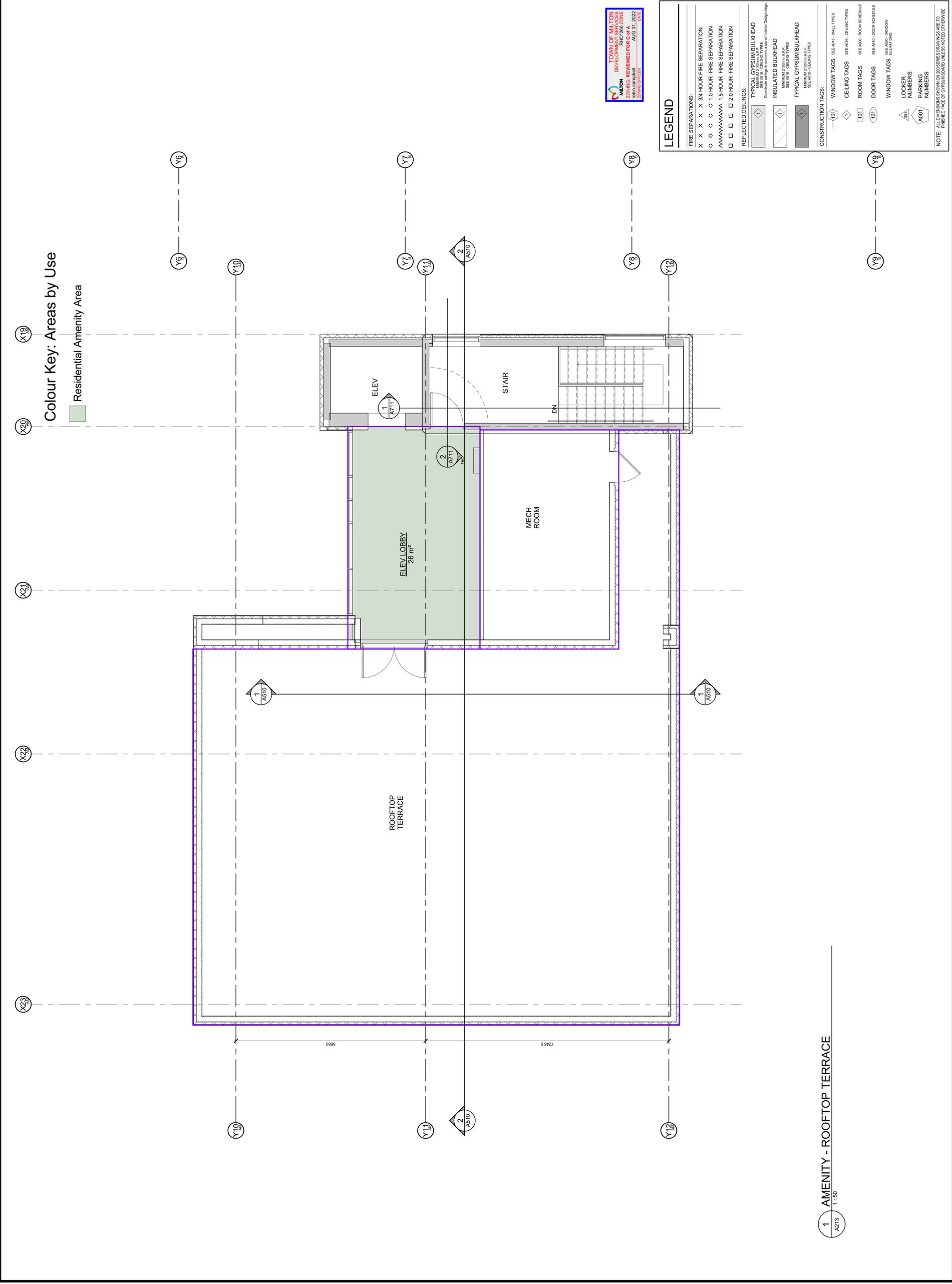
PROJECT NUMBER:
17029

DRAWN BY:
Author

CHECKED BY:
Checker

DRAWING VERSION:
A213

PLOT DATE:



1 AMENITY - ROOFTOP TERRACE
1:50
A213

**DRAFT PLAN OF SUBDIVISION
FILE 24T-17002/M REVISED**

**PART OF LOT 6 & 7,
CONCESSION 3, NEW SURVEY**

(GEOGRAPHIC TOWNSHIP OF TRAFALGAR)
TOWN OF MILTON
REGIONAL MUNICIPALITY OF HALTON

**MATTAMY - MARTIN EAST
COBBAN NEIGHBOURHOOD**

OWNER'S AUTHORIZATION
I HEREBY AUTHORIZE KORSIAK URBAN PLANNING TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE TOWN OF MILTON FOR APPROVAL.

SIGNED *M. V. Verwoy* DATE *December 21, 2016*
Michael Verwoy
Mattamy (Brownridge) Limited
433 Steeles Avenue East, Suite 110
Milton, Ontario L9T 8Z4
Tel: (905) 263-3972 Fax: (905) 263-3901

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN.

SIGNED *R. De. Booth* DATE *December 21, 2016*
Rose Denbroeder, Ontario Land Surveyor
RDE PENTEK & EDWARD SURVEYING LTD.
443 CHURCH ROAD, SUITE 7, WOODBRIDGE, ONTARIO L4L 8A3
Tel: (416) 855-5000 Fax: (416) 855-5001

ADDITIONAL INFORMATION (UNDER SECTION 51.1(17) OF THE PLANNING ACT)
A) SHOWN ON PLAN
B) MUNICIPAL AND PIPED WATER TO BE PROVIDED
C) CLAY LOAM
D) SHOWN ON PLAN
E) SHOWN ON PLAN
F) SHOWN ON PLAN
G) SHOWN ON PLAN
H) SHOWN ON PLAN
I) SHOWN ON PLAN
J) SHOWN ON PLAN
K) SHOWN ON PLAN
L) SHOWN ON PLAN

LAND USE SCHEDULE

Land Use	Blocks	Block Total	Area (ha)	Units
Detached Residential	1-558-621	1,558	191,389,398.402	559
Townhouse	1-186-318 422-558-502-512-521-522	558	74,418,125.8519	519
Back-to-Back Townhouse	559-569	109	109,390,397.141	199
Walkway	570-676	107	41,421,559,560,573,574,576,615	136
Union Gas Pipeline	577-579	3	0.03	0
SMU Node Block	580-582	3	0.31	0
Medium Density Residential	583	1	2.04	TBD
Medium-High Density Residential	575, 584, 585	3	2,923.34	TBD
Elementary School	586	1	3.23	TBD
Neighbourhood Park	587, 588	2	3.55	0
SWM Pond	589	1	3.56	0
16 Mile Creek Valley	594, 595	2	11.74	0
Environmental Buffer	596-598	3	0.99	0
Woodlot	599	1	7.91	0
Trail Buffer Block	600	1	0.69	0
Grading Block	601-602, 605-608	7	0.28	0
SWM Pond Buffer Block	609-611	3	0.28	0
Residential Reserve	612-614	3	0.24	0
0.3m Reserve	616-624	9	0.32	1
Road Widening	603, 604, 625-636, 641, 642	14	32.16	0.00
16.0m ROW (5469m) 5392m	637, 638	2	7.87	1.48
20.0m ROW (899m)			78.81	8.69
24.0m ROW (573m)			7.83	1.84
24.5m ROW (254m)			0.67	0.89
26.0m ROW (1078m)			0.63	0.89
Total	840	1,442	640,644	84.31

DATE [D.M.Y.]	REVISION	DWG BY
16/05/19	Redline	G SE
15/10/18	Resubmission	E SP
12/10/18	General Revisions	D SP
21/09/18	Resubmission	D SP
08/08/18	Resubmission	C SP
26/10/17	Resubmission	B LC
11/08/17	General Revisions	B SP
20/12/16	Original Submission	A LC

NOTES:
* Collector/Arterial corner radii = 10m
* Local/Collector corner radii = 7m
* Collector/Collector corner radii = 10m

mattamyHOMES

SCALE 1:2500
DRAWN BY: SP
CHECKED BY: KC
October 15, 2018
May 16, 2019

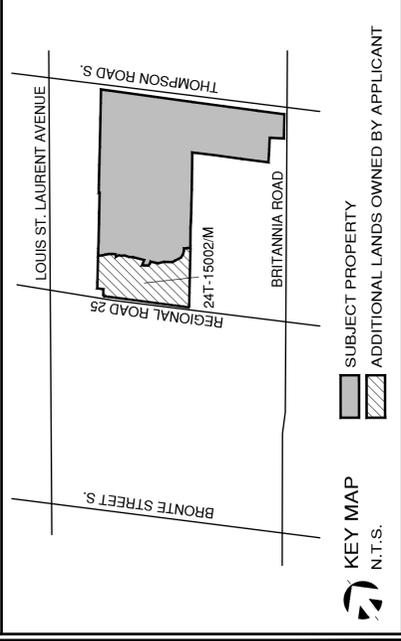
KORSIAK Urban Planning
206-277 Lakeshore Road East
Oakville, Ontario L6L 1H9
T: 905-252-0227
info@korsiak.com



**TOWN OF MILTON
DEVELOPMENT SERVICES
ZONING REVIEWED FOR C/A
AUG 30, 2022**

Unit Type	Blocks	Units	SDE*
Detached	1-558-621	559	559
Townhouse	1-186-318 422-558-502-512-521-522	519	519
Back-to-Back Townhouses	559-569	199	199
SMU Node Block	583	TBD	TBD
Medium Density Residential	575, 584, 585	TBD	TBD
Medium-High Density Residential	586	TBD	TBD
Total		866	744.8

* SDE Factors:
Detached - 1.00
Townhouse - 0.73
Back-to-Back townhouse - 0.50



KEY MAP
N.T.S.
SUBJECT PROPERTY
ADDITIONAL LANDS OWNED BY APPLICANT

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.

ALL DRAWINGS MUST BE SUBJECT TO CHANGE DUE TO COMMENTS FROM THE TOWN OF MILTON, ONTARIO, AND THE PROJECT ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OMISSIONS.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No. (DD/MN/YY)	BY
SEALED SUBMISSION	2 27.08.22	KNYMH
50% COORDINATION SET	3 16.08.22	KNYMH

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED.

REVISIONS TO DRAWING

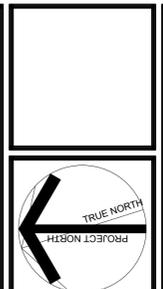
No.	DATE
No.	(DD/MN/YY)

NOT FOR CONSTRUCTION

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

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F 905.639.6584
www.knymh.com
info@knymh.com



MILE & CREEK
MILTON, ONTARIO

UG - OVERALL PLANS
LEVEL 1 & 2

PROJECT NUMBER:
17029

DRAWING SHEET NUMBER:
A200



1 OVERALL - U/G LEVEL 1 - PRINT
A200 1:400

LEGEND

FIRE SEPARATIONS:
 X X X X 3/4 HOUR FIRE SEPARATION
 O O O O 1.0 HOUR FIRE SEPARATION
 A A A A A A 1.5 HOUR FIRE SEPARATION
 D D D D 2.0 HOUR FIRE SEPARATION

REFLECTED CEILINGS:
 TYPICAL GYPSUM BULKHEAD
 INSULATED BULKHEAD
 TYPICAL GYPSUM BULKHEAD
 HEATED CEILING PLENUM
 TYPICAL ACOUSTIC CEILING TILE

CONSTRUCTION TAGS:
 WALL TAGS
 CEILING TAGS
 ROOM TAGS
 DOOR TAGS
 WINDOW TAGS
 HAIR INTERCEPTOR
 LOCKER NUMBERS
 PARKING NUMBERS

PARKING USE KEY
 R.O. RESIDENTIAL OCCUPANT(TENANT) SPACE
 R.O.B.F. ACCESSIBLE SPACE (BARRIER FREE) - SEE PLANS FOR TYPE
 R.V. RESIDENTIAL VISITOR SPACE
 R.V.B.F. RESIDENTIAL VISITOR ACCESSIBLE SPACE (BARRIER FREE) - SEE PLANS FOR TYPE

REFER TO ENLARGE U/G PLANS FOR TRAVEL DISTANCE LINES
 REPORTED TRAVEL DISTANCES WHICH LEAD TO AN EXIT DOOR MUST BE LESS THAN 45.0m (45.0m PATH OF TRAVEL MAXIMUM)

NOTE: ALL DIMENSIONS SHOWN ON 200 SERIES DRAWINGS ARE TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE. DIMENSIONS NOTED WITH "L" - SHOW DISTANCE FROM INTERIOR WALL TO NEAREST EDGELINE.

PARKING USE KEY

R.O. RESIDENTIAL OCCUPANT(TENANT) SPACE
 R.O.B.F. ACCESSIBLE SPACE (BARRIER FREE) - SEE PLANS FOR TYPE
 R.V. RESIDENTIAL VISITOR SPACE
 R.V.B.F. RESIDENTIAL VISITOR ACCESSIBLE SPACE (BARRIER FREE) - SEE PLANS FOR TYPE

REFER TO ENLARGE U/G PLANS FOR TRAVEL DISTANCE LINES
 REPORTED TRAVEL DISTANCES WHICH LEAD TO AN EXIT DOOR MUST BE LESS THAN 45.0m (45.0m PATH OF TRAVEL MAXIMUM)



2 OVERALL - U/G LEVEL 2 - PRINT
A200 1:400

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.

ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM THE TOWN OF MILTON, THE ARCHITECT, OR THE CONTRACTOR. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OWN WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	(DD/MN/YY)	BY
SPACING SUBMISSION	2	27.08.22	KNYMH

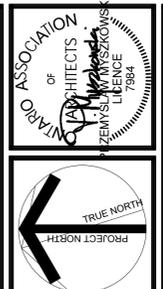
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	(DD/MN/YY)
NOT FOR CONSTRUCTION		

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

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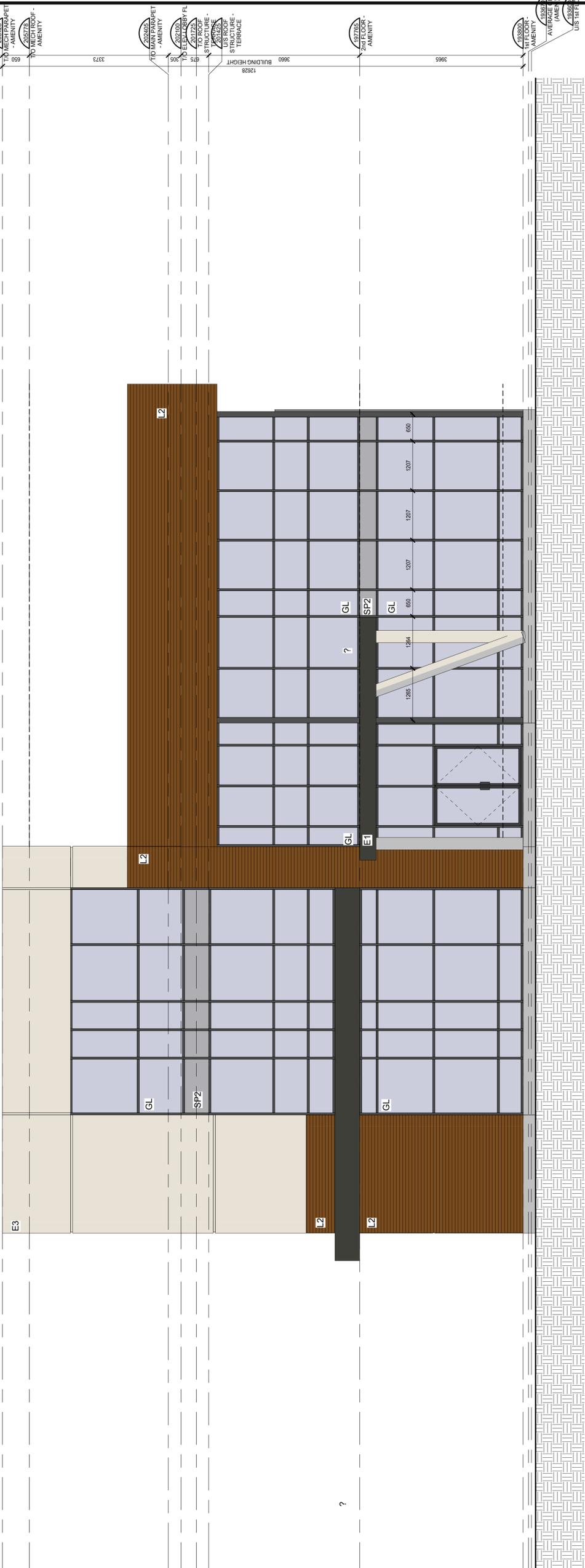
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www.knymh.com
info@knymh.com



TOWN OF MILTON SITE PLAN FILE NUMBER: # SP/0721
MILE & CREEK
MILTON, ONTARIO

DRAWING SHEET TITLE:
(AMENITY) ELEVATIONS

DRAWING SCALE:	As indicated
DRAWN BY:	Author
CHECKED BY:	Checker
DRAWING VERSION:	000
PROJECT NUMBER:	17029
DRAWING SHEET NUMBER:	A410



1 (AMENITY) NORTH ELEVATION
A410 1:50



LEGEND

GL	GLAZING PANEL
SP	SPANDREL PANEL
MF	METAL FLASHING
LV	LOUVERED PANEL
AW	AWNING WINDOW
PC1	PRECAST FINISH COLOUR 1 (WHITE, SMOOTH FINISH)
PC2	PRECAST FINISH COLOUR 2 (LIGHT GRAY, SMOOTH FINISH)
PC3	PRECAST FINISH COLOUR 3 (DARK GRAY, SMOOTH FINISH)
PC4	PRECAST FINISH COLOUR 4 (TWO TONE WOOD FINISH)
PC5	PRECAST FINISH COLOUR 5 (CHARCOAL, BRICK PATTERN)
AR	ALUMINUM RAILING W/ GLASS

NOTES:

ALL GUARDS TO MEET REQUIREMENTS OF THE O.B.C. 2012. MANUFACTURER/SUPPLIER TO PROVIDE ENGINEERED, STAMPED SHOP DRAWINGS COMPLETE WITH MOUNTING DETAILS. GUARDS SHALL COMPLY WITH O.B.C. 3.3.1.17, 3.4.6.5 AND 4.1.10.

GUARDS SHALL COMPLY WITH O.B.C. 4.3.6.

ALL GLASS IN GUARDS TO COMPLY WITH O.B.C. 98-13.

GLAZING LOCATED 1070 OR LESS ABOVE FINISHED FLOOR AND MORE THAN 600mm ABOVE FINISHED FLOOR SHALL BE DESIGNED AS A GUARD AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE O.B.C.

ALL WINDOWS TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.3.4.8. PROTECTION OF WINDOWS IN APARTMENTS BUILDINGS, WINDOW SUPPLIER TO PROVIDE ENGINEERED STAMPED SHOP DRAWINGS FOR REVIEW.

ALL DOOR AND WINDOW FRAMES AND SASHES TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.1.5.4. COMBUSTIBLE GLAZING AND SKYLIGHTS.

REFER TO NOTICE IMPACT STUDY FOR ADDITIONAL GLAZING REQUIREMENTS.

ENSURE CO-ORDINATION WITH MECHANICAL DRAWINGS FOR EXHAUST WALL BOX LOCATIONS WITHIN ALUMINUM SCREENS.

ALL SPANDREL GLASS PANELS ARE TO HAVE A MINIMUM R-VALUE OF R-10. CW METAL BACK PAN.

DOOR AND WINDOW LOCATIONS, DIMENSIONS, DETAILS AND BUILDING MATERIALS MAY VARY, DEPENDING ON THE BUILDING CATEGORY, AND SIGNIFY FOR INFORMATION PURPOSES ONLY.

WINDOW SUPPLIER/INSTALLER IS TO PROVIDE DEFLECTION CONNECTION FOR ALL CURTAIN WALLS / WINDOW WALLS. (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED DEFLECTION).

ALL WINDOWS AND GLASS DOORS TO MEET MINIMUM ENERGY RATING FOR WINDOWS IN ZONE 5 OF THE O.B.C. 98-13:

NON-METAL FRAME WINDOWS/DOORS 0.25 MAX U VALUE	0.25 SOLAR HEAT GAIN COEFFICIENT
METAL FRAME (ALUM) WINDOWS	0.25 MAX U VALUE
METAL FRAME DOORS	0.35 SOLAR HEAT GAIN COEFFICIENT

MANDATORY WINDOW WALL REQUIREMENTS

- THE WINDOW WALL SYSTEM MUST INCLUDE PRIMARY AND SECONDARY FRAMES OF PROPER DESIGN AND MATERIALS, INCLUDING PROVISION FOR POSITIVE DRAINAGE TO THE EXTERIOR IN A RAINGREEN DESIGN.
- THE DESIGN, TESTING AND INSTALLATION OF THE WINDOW WALL SYSTEM INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE ASSEMBLIES AND MATERIALS TO BE INCORPORATED INTO THE DESIGN AND THE INSTALLATION OF WINDOW WALL SYSTEMS WHO HAS SPECIFICALLY ENGAGED FOR THIS PURPOSE.
- THE INDEPENDENT CONSULTANT HAS APPROVED THE WINDOW WALL SYSTEM FOR THE SPECIFIC PROJECT.
- THE WINDOW WALL SYSTEMS AS INSTALLED ON THE PROJECT IS IN COMPLIANCE WITH THE ARCHITECT'S BUILDING DESIGN.
- THE MANUFACTURER OF THE WINDOW WALL SYSTEM PROVIDES SHOP DRAWINGS AND CALCULATIONS FOR THE WINDOW WALL SYSTEM TO BE USED ON THE SPECIFIC PROJECT. THE MANUFACTURER'S SHOP DRAWINGS AND CALCULATIONS HAVE BEEN SEALED BY A PROFESSIONAL ENGINEER RETAINED BY THE MANUFACTURER RESPECTING STRUCTURAL INTEGRITY, AIR BARRIER, SOUND AND WATER PROGRESS MANAGEMENT.
- THE INDEPENDENT CONSULTANT WITH TEST REPORTS FOR AIR LEAKAGE AND WATER PENETRATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE APPLICABLE VERSION OF CAN/ULC-AC108 AND CAN/ULC-AC109, AND THE CONSULTANT HAVE EACH REVIEWED AND ACCEPTED THESE REPORTS AS APPROPRIATE FOR THE SPECIFIC PROJECT.
- A FULL SCALE MOCK-UP OF THE SPECIFIC WINDOW WALL SYSTEM FOR THE PROJECT, INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE ASSEMBLIES AND MATERIALS, HAS BEEN SUCCESSFULLY TESTED RESPECTING AIR AND WATER INFILTRATION AND PENETRATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE APPLICABLE VERSION OF CAN/ULC-AC108 AND CAN/ULC-AC109, AND THE CONSULTANT HAVE EACH REVIEWED AND ACCEPTED THESE REPORTS AS DETERMINED, REVIEWED AND APPROVED BY THE INDEPENDENT CONSULTANT.
- THE COMPLETED WINDOW WALL SYSTEM AS DESIGNED, CONSTRUCTED AND INSTALLED IN COMPLIANCE WITH THE MANDATORY WINDOW WALL SYSTEM REQUIREMENTS OF THE INDEPENDENT CONSULTANT.
- THE ENTIRE WINDOW WALL SYSTEM AS DESIGNED, CONSTRUCTED AND INSTALLED IS WARRANTED RESPECTING AIR LEAKAGE AND WATER INGRESS BY THE WINDOW WALL MANUFACTURER FOR A PERIOD OF NOT LESS THAN 5 YEARS FROM THE DATE OF SUBMITTAL WHICH EVER COMES LATER. THE WARRANTY PROVIDED IS TO COVER ALL OF THE LABOUR AND MATERIALS COSTS OF REPAIRS TO CORRECT DEFECTS IN THE WINDOW WALL SYSTEM SHOULD AIR LEAKAGE OR WATER INGRESS OCCUR DURING THE WARRANTY PERIOD.
- THE INDEPENDENT CONSULTANT SHALL PROVIDE A PROFESSIONAL'S SEALED LETTER CONFIRMING THAT THEY WILL COMPLY WITH THE MANDATORY WINDOW WALL REQUIREMENTS ABOVE. THIS LETTER SHALL BE SUBMITTED AT THE TIME OF SHOP DRAWING SUBMISSION.

MANDATORY WINDOW WALL REQUIREMENTS

- THE WINDOW WALL SYSTEM MUST INCLUDE PRIMARY AND SECONDARY PLANES OF POSITIVE DRAINAGE TO THE EXTERIOR IN A RAINSCREEN DESIGN.
- THE DESIGN, TESTING AND INSTALLATION OF THE WINDOW WALL SYSTEM INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE ASSEMBLIES AND MATERIALS AND THE TRANSITIONS TO THE ADJOINING INTERIORS MUST BE APPROVED BY THE ARCHITECT'S BUILDING DESIGN TEAM. INCORPORATE THE RECOMMENDATIONS OF AN INDEPENDENT CONSULTANT WHO HAS SPECIFICALLY ENGAGED FOR THIS PURPOSE. EXPERTISE WITH THE DESIGN AND INSTALLATION OF WINDOW WALL SYSTEMS WHO HAS SPECIFICALLY ENGAGED FOR THIS PURPOSE.
- THE INDEPENDENT CONSULTANT HAS APPROVED THE DESIGN FOR THE WINDOW WALL SYSTEM FOR THE SPECIFIC PROJECT.
- THE WINDOW WALL SYSTEMS INSTALLED ON THE PROJECT IS IN COMPLIANCE WITH THE ARCHITECT'S BUILDING DESIGN.
- THE CALCULATIONS FOR THE WINDOW WALL SYSTEM PROVIDES SHOP DRAWINGS AND CALCULATIONS FOR THE WINDOW WALL SYSTEM TO BE USED ON THE SPECIFIC PROJECT DRAWINGS AND CALCULATIONS HAVE BEEN SEALD BY A PROFESSIONAL ENGINEER RETAINED BY THE MANUFACTURER RESPECTING STRUCTURAL INTEGRITY, AIR BARRIER CONTINuity AND WATER INGRESS MANAGEMENT.
- THE INDEPENDENT CONSULTANT WITH TEST REPORTS FOR AIR LEAKAGE AND WATER PENETRATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE APPLICABLE VERSION OF CAN/ULC-A617. THE TEST REPORTS MUST BE PROVIDED TO THE ARCHITECT AND THE CONSULTANTS AND THE INDEPENDENT CONSULTANT HAVE EACH REVIEWED AND ACCEPTED THESE REPORTS AS APPROPRIATE FOR THE SPECIFIC PROJECT.
- A FULL SCALE MOCK-UP OF THE SPECIFIC WINDOW WALL SYSTEM FOR THE PROJECT, INCLUDING GLAZING UNITS, ANCHORING AND TRANSITIONS TO ADJOINING ASSEMBLIES AND MATERIALS HAS BEEN SUCCESSFULLY TESTED RESPECTING AIR AND WATER INFILTRATION AND PENETRATION INTO THE BUILDING ENVELOPE. THE TEST REPORTS MUST BE PROVIDED TO THE INDEPENDENT CONSULTANT AS DETERMINED, REVIEWED AND APPROVED BY THE INDEPENDENT CONSULTANT.
- THE COMPLETED WINDOW WALL SYSTEMS DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THESE REQUIREMENTS AND THE ARCHITECT'S BUILDING DESIGN. THE INDEPENDENT CONSULTANT.
- THE ENTIRE WINDOW WALL SYSTEM AS DESIGNED, CONSTRUCTED AND INSTALLED IS WARRANTED RESPECTING AIR LEAKAGE AND WATER INGRESS BY THE WINDOW WALL MANUFACTURER FOR A PERIOD OF NOT LESS THAN 5 YEARS FOLLOWING SUBSTANTIAL WHICH EVER COMES LATER. THE WARRANTY PROVIDED IS TO COVER ALL OF THE LABOUR AND MATERIALS AND FINISHES TO BE INSTALLED BY THE WINDOW WALL MANUFACTURER. AIR LEAKAGE OR WATER INGRESS OCCURRING DURING THE WARRANTY PERIOD.
- THE INDEPENDENT CONSULTANT SHALL PROVIDE A PROFESSIONALS SEALED LETTER CONFIRMING THAT THEY WILL COMPLY WITH THE MANDATORY WINDOW WALL REQUIREMENTS ABOVE. THIS LETTER SHALL BE SUBMITTED AT THE TIME OF SHOP DRAWING SUBMISSION.

NOTES:

- ALL GUARDS TO MEET REQUIREMENTS OF THE O.B.C. 2012. MANUFACTURERS SUPPLIER TO PROVIDE ENGINEERED, STAMPED SHOP DRAWINGS COMPLETE WITH MOUNTING DETAILS. GUARDS SHALL COMPLY WITH O.B.C. 3.3.1.17, 3.4.6.5 AND 4.1.10.
- GUARDS SHALL COMPLY WITH O.B.C. 4.3.6.
- ALL GLASS IN GUARDS TO COMPLY WITH O.B.C. SB-13.
- GLAZING LOCATED 1070 OR LESS ABOVE FINISHED FLOOR AND MORE THAN 800mm ABOVE GRADE SHALL BE DESIGNED AS A GUARD AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE O.B.C.
- ALL WINDOWS TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.3.9.8. PROTECTION OF WINDOWS IN APARTMENT BUILDINGS. WINDOW SUPPLIER TO PROVIDE ENGINEERED STAMPED SHOP DRAWINGS FOR REVIEW.
- ALL DOOR AND WINDOW FRAMES AND SASHES TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.15.4. COMBUSTIBLE GLAZING AND SKYLIGHTS.
- REFER TO NOTICE BOOK FOR ADDITIONAL GLAZING REQUIREMENTS.
- ENSURE CO-ORDINATION WITH MECHANICAL DRAWINGS FOR EXHAUST WALL BOX LOCATIONS WITHIN ALUMINUM SCREENS.
- ALL SPANDREL GLASS PANELS ARE TO HAVE A MINIMUM R-VALUE OF R-10, CW METAL BACK PAN.
- DOOR AND WINDOW LOCATIONS, DIMENSIONS, DETAILS AND BUILDING MATERIALS MAY VARY DEPENDING ON FINAL BUILDING LAYOUT, AND SHOWN FOR INFORMATION PURPOSES ONLY.
- WINDOW SUPPLIER/INSTALLER IS TO PROVIDE REFLECTION CONNECTION FOR ALL CURTAIN WALLS / WINDOW WALLS. (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED DEFLECTION).
- ALL WINDOWS AND GLASS DOORS TO MEET MINIMUM ENERGY RATING FOR WINDOWS IN ZONE 5 OF THE O.B.C. SB-10.
- NON-METAL FRAME WINDOWS/DOORS 0.25 MAX U VALUE COEFFICIENT AND 0.25 SOLAR HEAT GAIN COEFFICIENT
- METAL FRAME (ALUM.) WINDOWS 0.25 MAX U VALUE COEFFICIENT AND 0.25 SOLAR HEAT GAIN COEFFICIENT
- METAL FRAME DOORS 0.38 MAX U VALUE COEFFICIENT AND 0.38 SOLAR HEAT GAIN COEFFICIENT

1 (AMENITY) EAST ELEVATION

1:50

2 (AMENITY) WEST ELEVATION

1:50

NOTES:

- THE WINDOW WALL SYSTEM MUST INCLUDE PRIMARY AND SECONDARY PLANES OF POSITIVE DRAINAGE TO THE EXTERIOR IN A RAINSCREEN DESIGN.
- THE DESIGN, TESTING AND INSTALLATION OF THE WINDOW WALL SYSTEM INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE ASSEMBLIES AND MATERIALS AND THE TRANSITIONS TO THE ADJOINING INTERIORS MUST BE APPROVED BY THE ARCHITECT'S BUILDING DESIGN TEAM. INCORPORATE THE RECOMMENDATIONS OF AN INDEPENDENT CONSULTANT WHO HAS SPECIFICALLY ENGAGED FOR THIS PURPOSE. EXPERTISE WITH THE DESIGN AND INSTALLATION OF WINDOW WALL SYSTEMS WHO HAS SPECIFICALLY ENGAGED FOR THIS PURPOSE.
- THE INDEPENDENT CONSULTANT HAS APPROVED THE DESIGN FOR THE WINDOW WALL SYSTEM FOR THE SPECIFIC PROJECT.
- THE WINDOW WALL SYSTEMS INSTALLED ON THE PROJECT IS IN COMPLIANCE WITH THE ARCHITECT'S BUILDING DESIGN.
- THE CALCULATIONS FOR THE WINDOW WALL SYSTEM PROVIDES SHOP DRAWINGS AND CALCULATIONS FOR THE WINDOW WALL SYSTEM TO BE USED ON THE SPECIFIC PROJECT DRAWINGS AND CALCULATIONS HAVE BEEN SEALD BY A PROFESSIONAL ENGINEER RETAINED BY THE MANUFACTURER RESPECTING STRUCTURAL INTEGRITY, AIR BARRIER CONTINuity AND WATER INGRESS MANAGEMENT.
- THE INDEPENDENT CONSULTANT WITH TEST REPORTS FOR AIR LEAKAGE AND WATER PENETRATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE APPLICABLE VERSION OF CAN/ULC-A617. THE TEST REPORTS MUST BE PROVIDED TO THE ARCHITECT AND THE CONSULTANTS AND THE INDEPENDENT CONSULTANT HAVE EACH REVIEWED AND ACCEPTED THESE REPORTS AS APPROPRIATE FOR THE SPECIFIC PROJECT.
- A FULL SCALE MOCK-UP OF THE SPECIFIC WINDOW WALL SYSTEM FOR THE PROJECT, INCLUDING GLAZING UNITS, ANCHORING AND TRANSITIONS TO ADJOINING ASSEMBLIES AND MATERIALS HAS BEEN SUCCESSFULLY TESTED RESPECTING AIR AND WATER INFILTRATION AND PENETRATION INTO THE BUILDING ENVELOPE. THE TEST REPORTS MUST BE PROVIDED TO THE INDEPENDENT CONSULTANT AS DETERMINED, REVIEWED AND APPROVED BY THE INDEPENDENT CONSULTANT.
- THE COMPLETED WINDOW WALL SYSTEMS DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THESE REQUIREMENTS AND THE ARCHITECT'S BUILDING DESIGN. THE INDEPENDENT CONSULTANT.
- THE ENTIRE WINDOW WALL SYSTEM AS DESIGNED, CONSTRUCTED AND INSTALLED IS WARRANTED RESPECTING AIR LEAKAGE AND WATER INGRESS BY THE WINDOW WALL MANUFACTURER FOR A PERIOD OF NOT LESS THAN 5 YEARS FOLLOWING SUBSTANTIAL WHICH EVER COMES LATER. THE WARRANTY PROVIDED IS TO COVER ALL OF THE LABOUR AND MATERIALS AND FINISHES TO BE INSTALLED BY THE WINDOW WALL MANUFACTURER. AIR LEAKAGE OR WATER INGRESS OCCURRING DURING THE WARRANTY PERIOD.
- THE INDEPENDENT CONSULTANT SHALL PROVIDE A PROFESSIONALS SEALED LETTER CONFIRMING THAT THEY WILL COMPLY WITH THE MANDATORY WINDOW WALL REQUIREMENTS ABOVE. THIS LETTER SHALL BE SUBMITTED AT THE TIME OF SHOP DRAWING SUBMISSION.

NOTES:

- ALL GUARDS TO MEET REQUIREMENTS OF THE O.B.C. 2012. MANUFACTURERS SUPPLIER TO PROVIDE ENGINEERED, STAMPED SHOP DRAWINGS COMPLETE WITH MOUNTING DETAILS. GUARDS SHALL COMPLY WITH O.B.C. 3.3.1.17, 3.4.6.5 AND 4.1.10.
- GUARDS SHALL COMPLY WITH O.B.C. 4.3.6.
- ALL GLASS IN GUARDS TO COMPLY WITH O.B.C. SB-13.
- GLAZING LOCATED 1070 OR LESS ABOVE FINISHED FLOOR AND MORE THAN 800mm ABOVE GRADE SHALL BE DESIGNED AS A GUARD AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE O.B.C.
- ALL WINDOWS TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.3.9.8. PROTECTION OF WINDOWS IN APARTMENT BUILDINGS. WINDOW SUPPLIER TO PROVIDE ENGINEERED STAMPED SHOP DRAWINGS FOR REVIEW.
- ALL DOOR AND WINDOW FRAMES AND SASHES TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.15.4. COMBUSTIBLE GLAZING AND SKYLIGHTS.
- REFER TO NOTICE BOOK FOR ADDITIONAL GLAZING REQUIREMENTS.
- ENSURE CO-ORDINATION WITH MECHANICAL DRAWINGS FOR EXHAUST WALL BOX LOCATIONS WITHIN ALUMINUM SCREENS.
- ALL SPANDREL GLASS PANELS ARE TO HAVE A MINIMUM R-VALUE OF R-10, CW METAL BACK PAN.
- DOOR AND WINDOW LOCATIONS, DIMENSIONS, DETAILS AND BUILDING MATERIALS MAY VARY DEPENDING ON FINAL BUILDING LAYOUT, AND SHOWN FOR INFORMATION PURPOSES ONLY.
- WINDOW SUPPLIER/INSTALLER IS TO PROVIDE REFLECTION CONNECTION FOR ALL CURTAIN WALLS / WINDOW WALLS. (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED DEFLECTION).
- ALL WINDOWS AND GLASS DOORS TO MEET MINIMUM ENERGY RATING FOR WINDOWS IN ZONE 5 OF THE O.B.C. SB-10.
- NON-METAL FRAME WINDOWS/DOORS 0.25 MAX U VALUE COEFFICIENT AND 0.25 SOLAR HEAT GAIN COEFFICIENT
- METAL FRAME (ALUM.) WINDOWS 0.25 MAX U VALUE COEFFICIENT AND 0.25 SOLAR HEAT GAIN COEFFICIENT
- METAL FRAME DOORS 0.38 MAX U VALUE COEFFICIENT AND 0.38 SOLAR HEAT GAIN COEFFICIENT

LEGEND	
GL	GLAZING PANEL
SP	SPANDREL PANEL
MF	METAL FLASHING
LV	LOUVRED PANEL
AW	AWNING WINDOW
PC1	PRECAST FINISH COLOUR 1 (WHITE, SMOOTH FINISH)
PC2	PRECAST FINISH COLOUR 2 (LIGHT GRAY, SMOOTH FINISH)
PC3	PRECAST FINISH COLOUR 3 (DARK GRAY, SMOOTH FINISH)
PC4	PRECAST FINISH COLOUR 4 (TWO TONE WOOD FINISH)
PC5	PRECAST FINISH COLOUR 5 (CHARCOAL, BRICK PATTERN)
AR	ALUMINUM RAILING W/ GLASS

TOWN OF MILTON
DEVELOPMENT SERVICES
REVIEWED FOR:
17029 - MILE & CREEK
AUG 31, 2022
DATE

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.

ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM ARCHITECT, ENGINEER, INSPECTOR, MUNICIPALITY OR ANY OTHER PARTY.

ALL DRAWINGS ARE SPECIFIC TO THE PROJECT AND THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM SUCH WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	DATE (DD.MM.YY)	BY
SEALED SUBMISSION	2	27.08.22	KNOVAT

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED.

REVISIONS TO DRAWING	No.	DATE (DD.MM.YY)

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION WITHOUT PERMIT

BUILDING PERMIT NUMBER: _____

KNYMH
ARCHITECTURE • SOLUTIONS

KNYMH INC.
1006 SKYVIEW DRIVE • SUITE 101
BURLINGTON, ONTARIO • L7P 0V1
T 905.639.6595
F 905.639.6594
www.knymh.com
info@knymh.com

ASSOCIATION OF ARCHITECTS OF ONTARIO

PROJECT NORTH

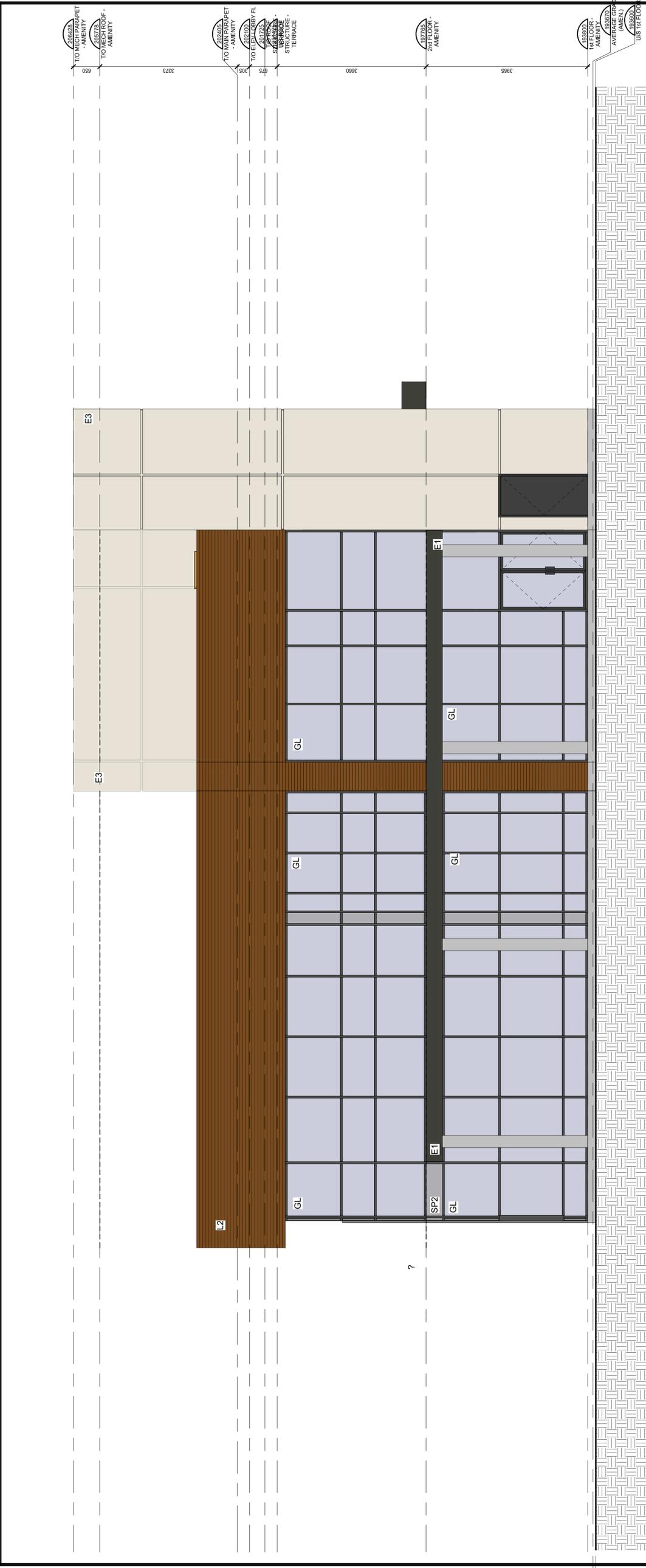
TRUE NORTH

TOWN OF MILTON SITE PLAN FILE NUMBER # SP 0721

MILE & CREEK

MILTON, ONTARIO

DRAWING TITLE:	(AMENITY) ELEVATIONS
DRAWING SCALE:	As indicated
DRAWING PROJECT NUMBER:	17029
DRAWING SHEET NUMBER:	A411
DRAWN BY:	As indicated
CHECKED BY:	Checked
DRAWING VERSION:	
PLOT DATE:	



1 (AMENITY) SOUTH ELEVATION
1:50

NOTES:
MANDATORY WINDOW WALL REQUIREMENTS
 1. THE WINDOW WALL SYSTEM MUST INCLUDE PRIMARY AND SECONDARY FRAMES OF PROPER MATERIALS AND DESIGN TO PROVIDE POSITIVE DRAINAGE TO THE EXTERIOR IN A RAINDRIVEN DESIGN.
 2. THE DESIGN, TESTING AND INSTALLATION OF THE WINDOW WALL SYSTEM INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE ASSEMBLIES AND MATERIALS TO BE PROVIDED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
 3. THE INDEPENDENT CONSULTANT HAS APPROVED THE WINDOW WALL SYSTEM FOR THE SPECIFIC PROJECT.
 4. THE WINDOW WALL SYSTEMS AS INSTALLED ON THE PROJECT IS IN COMPLIANCE WITH THE ARCHITECT'S BUILDING DESIGN.
 5. THE MANUFACTURER OF THE WINDOW WALL SYSTEM PROVIDES SHOP DRAWINGS AND CALCULATIONS FOR THE WINDOW WALL SYSTEM TO BE USED ON THE SPECIFIC PROJECT. THE INDEPENDENT CONSULTANT HAS REVIEWED THE SHOP DRAWINGS AND CALCULATIONS AND HAS SEALLED BY A PROFESSIONAL ENGINEER. THE MANUFACTURER SHALL PROVIDE THE WINDOW WALL SYSTEM WITH AN AIR BARRIER AND WATER PROOFING MEMBERS.
 6. THE INDEPENDENT CONSULTANT HAS REVIEWED THE SHOP DRAWINGS AND CALCULATIONS AND HAS SEALLED BY A PROFESSIONAL ENGINEER. THE MANUFACTURER SHALL PROVIDE THE WINDOW WALL SYSTEM WITH AN AIR BARRIER AND WATER PROOFING MEMBERS.
 7. THE INDEPENDENT CONSULTANT HAS REVIEWED THE SHOP DRAWINGS AND CALCULATIONS AND HAS SEALLED BY A PROFESSIONAL ENGINEER. THE MANUFACTURER SHALL PROVIDE THE WINDOW WALL SYSTEM WITH AN AIR BARRIER AND WATER PROOFING MEMBERS.
 8. A FULL SCALE MOCK-UP OF THE WINDOW WALL SYSTEM FOR THE PROJECT, INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE ASSEMBLIES AND MATERIALS, SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE WINDOW WALL SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE ARCHITECT'S BUILDING DESIGN AND THE CONSULTANT'S REQUIREMENTS. THE INDEPENDENT CONSULTANT HAS REVIEWED AND ACCEPTED THESE REPORTS AS APPROPRIATE FOR THE SPECIFIC PROJECT.
 9. THE INDEPENDENT CONSULTANT HAS REVIEWED THE WINDOW WALL SYSTEM AND CONFIRMS THAT IT WILL COMPLY WITH THE MANDATORY WINDOW WALL REQUIREMENTS ABOVE. THIS LETTER SHALL BE SUBMITTED AT THE TIME OF SHOP DRAWING SUBMISSION.

NOTES:
 ALL GUARDS TO MEET REQUIREMENTS OF THE O.B.C. 2012. MANUFACTURER/SUPPLIER TO PROVIDE ENGINEERED, STAMPED SHOP DRAWINGS COMPLETE WITH MOUNTING DETAILS. GUARDS SHALL COMPLY WITH O.B.C. 3.3.1.17, 3.4.6.5 AND 4.1.10.
 GUARDS SHALL COMPLY WITH O.B.C. 4.3.6.
 ALL GLASS IN GUARDS TO COMPLY WITH O.B.C. 38-13.
 GLAZING LOCATED 1070 OR LESS ABOVE FINISHED FLOOR AND MORE THAN 600mm ABOVE FINISHED FLOOR SHALL BE DESIGNED AS A GUARD AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE O.B.C.
 ALL WINDOWS TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.3.4.8. PROTECTION OF WINDOWS IN APARTMENT BUILDINGS, WINDOW SUPPLIER TO PROVIDE ENGINEERED STAMPED SHOP DRAWINGS FOR REVIEW.
 ALL DOOR AND WINDOW FRAMES AND SASHES TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.1.5.4. COMBUSTIBLE GLAZING AND SKYLIGHTS.
 REFER TO NOTICE IMPACT STUDY FOR ADDITIONAL GLAZING REQUIREMENTS.
 ENSURE CO-ORDINATION WITH MECHANICAL DRAWINGS FOR EXHAUST WALL BOX LOCATIONS WITHIN ALUMINUM SCREENS.
 ALL SPANDREL GLASS PANELS ARE TO HAVE A MINIMUM R-VALUE OF R-10. CW METAL BACK PAN.
 DOOR AND WINDOW LOCATIONS, DIMENSIONS, DETAILS AND BUILDING MATERIALS MAY VARY, DEPENDING ON FINAL BUILDING LAYOUT, AND SHOWN FOR INFORMATION PURPOSES ONLY.
 WINDOW SUPPLIER/INSTALLER IS TO PROVIDE DEFLECTION CONNECTION FOR ALL CURTAIN WALLS / WINDOW WALLS. (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED DEFLECTION).
 ALL WINDOWS AND GLASS DOORS TO MEET MINIMUM ENERGY RATING FOR WINDOWS IN ZONE 5 OF THE O.B.C. 38-11:
 NON-METAL FRAME WINDOWS/DOORS 0.25 MAX U VALUE
 0.35 SOLAR HEAT GAIN COEFFICIENT
 METAL FRAME (ALUM) WINDOWS 0.25 MAX U VALUE
 0.35 SOLAR HEAT GAIN COEFFICIENT
 METAL FRAME DOORS 0.35 SOLAR HEAT GAIN COEFFICIENT

LEGEND

GL	GLAZING PANEL
SP	SPANDREL PANEL
MF	METAL FLASHING
LV	LOUVERED PANEL
AW	AWNING WINDOW
PC1	PRECAST FINISH COLOUR 1 (WHITE, SMOOTH FINISH)
PC2	PRECAST FINISH COLOUR 2 (LIGHT GRAY, SMOOTH FINISH)
PC3	PRECAST FINISH COLOUR 3 (DARK GRAY, SMOOTH FINISH)
PC4	PRECAST FINISH COLOUR 4 (TWO TONE WOOD FINISH)
PC5	PRECAST FINISH COLOUR 5 (CHARCOAL, BRICK PATTERN)
AR	ALUMINUM RAILING W/ GLASS

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
 ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM THE TOWN OF MILTON, THE ARCHITECT OR THE CLIENT. ALL CHANGES AND REVISIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OMISSIONS.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	DATE (DD/MN/YY)	BY
SEALED SUBMISSION	1	27.08.22	KNOVAT
SPANDREL SUBMISSION	2	27.08.22	KNOVAT

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	DATE (DD/MN/YY)
----------------------	-----	-----------------

NOT FOR CONSTRUCTION

BUILDING PERMIT NUMBER:
 NOT FOR CONSTRUCTION WITHOUT PERMIT



KNYMIH INC.
 1006 SKYVIEW DRIVE • SUITE 101
 BURLINGTON, ONTARIO • L7P 0V1
 T 905.639.6595
 F 905.639.6594
 www.knyvih.com
 info@knyvih.com



TOWN OF MILTON SITE PLAN FILE NUMBER: # SP/0721
MILE & CREEK
 MILTON, ONTARIO

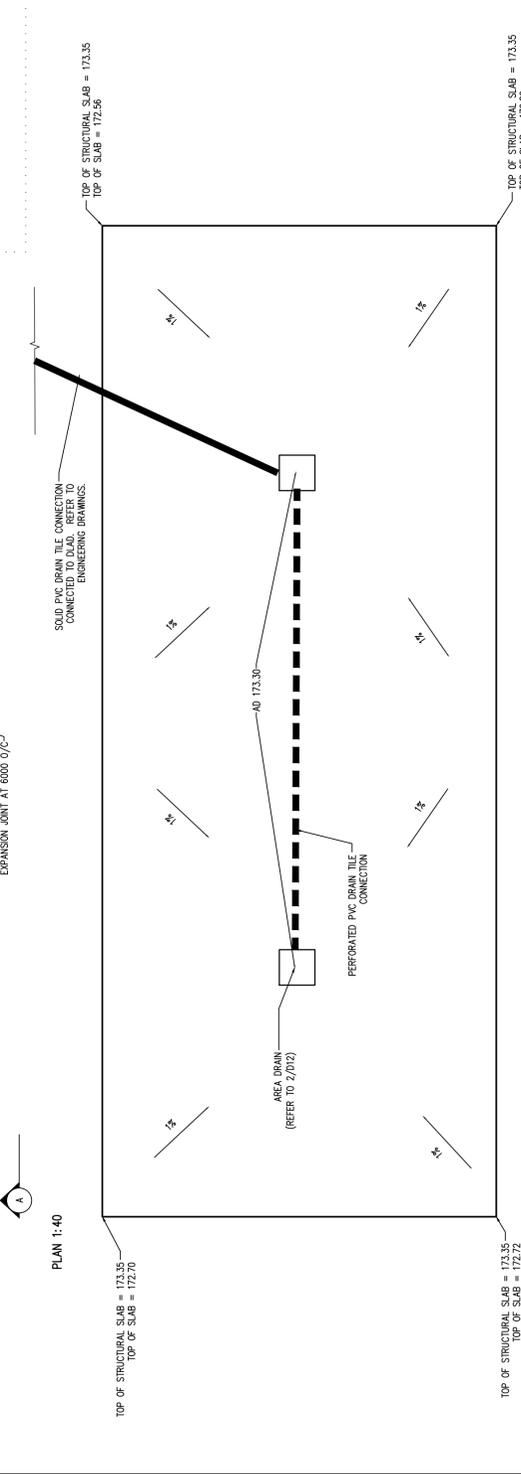
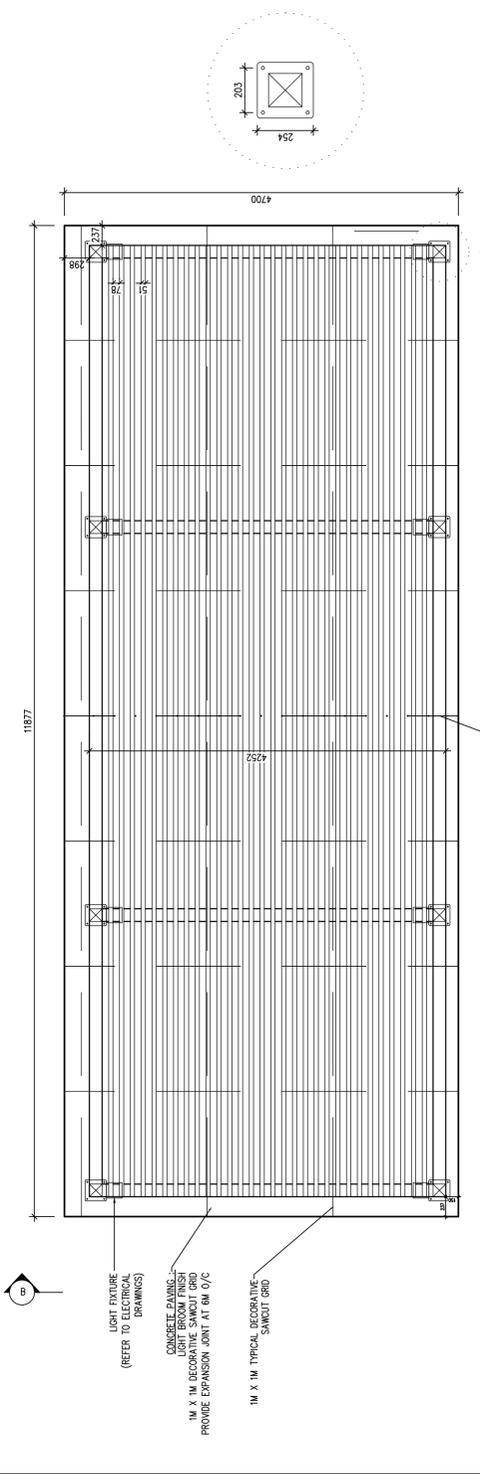
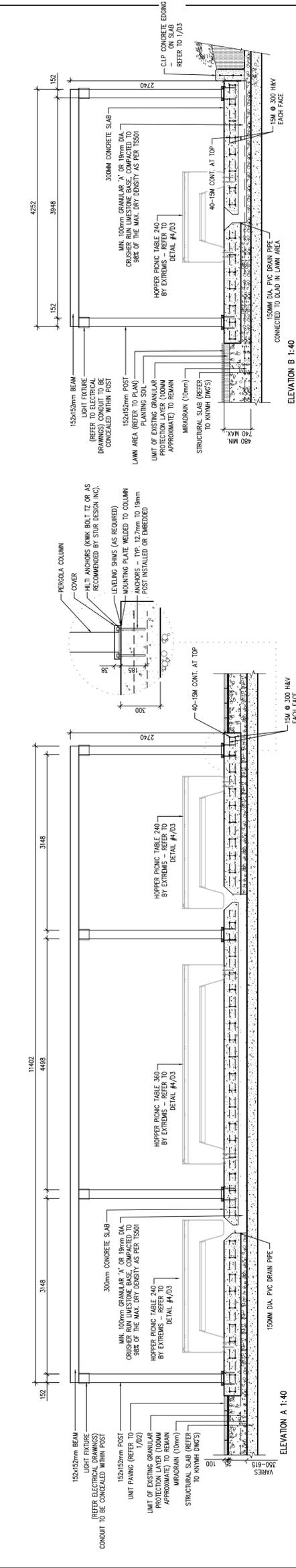
DRAWING SHEET TITLE:
(AMENITY) ELEVATIONS

DRAWING SCALE:	As indicated
PROJECT NUMBER:	17029

DRAWN BY:	Checked
Autor:	Checked
DRAWING VERSION:	
PLOT DATE:	

A412

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All materials used in the construction of the work shall be approved by the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



NOTES:

1. PROVIDE SHOP DRAWINGS SIGNED AND STAMPED BY A STRUCTURAL ENGINEER FOR SHADE STRUCTURE AND ANCHORING (INCLUDING FOOTING).
2. PROVIDE FINISH SAMPLES FOR SHADE STRUCTURE PRIOR TO ORDERING STRUCTURE.
3. REFER TO DEL ELECTRICAL DRAWINGS FOR LIGHTING REQUIREMENTS; AND CONDUIT RUNS WITHIN STRUCTURE. NO CONDUIT RUNS ON EXTERIOR OF SHADE STRUCTURE WILL BE ACCEPTED.

1 SHADE STRUCTURE ON SLAB
N.T.S.

No.	Description	Date
1	Issued for 2nd SPA Submission	Jun 27/22
Revision		
City Approval Stamp		



NAK
design strategies

421 RONCESVALLES AVENUE, TORONTO, ON M8R 2M1 CANADA
T 416.340.8700 F 416.340.7100 NAKDESIGNSTRATEGIES.COM
Project

MILE & CREEK CONDO
MILTON, ONTARIO

Title: SHADE STRUCTURE DETAILS
Date: June 2022
Scale: AS NOTED
Drawn: SN
Checked: PD
Job No.: 20-203

Sheet: 9P-07/21
D5

