

## THE CORPORATION OF TOWN OF MILTON

### BY-LAW NO. 038-2022

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 144-2003, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT, AS AMENDED, TO INCORPORATE A HOUSEKEEPING AMENDMENT THAT AFFECTS THE LANDS ZONED SITE-SPECIFIC ESTATE RESIDENTIAL (RE\*314), AND LEGALLY DESCRIBED AS LOTS 1 TO 5 ON PLAN 20M-856, IN THE TOWN OF MILTON, REGIONAL MUNICIPALITY OF HALTON - (TOWN FILE: HKA-01/22)

**WHEREAS** the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law [144-2003](#), as amended;

**AND WHEREAS** the Town of Milton Official Plan provides for the lands affected by this by-law to be zoned as set forth in this by-law;

**NOW THEREFORE** the Municipal Council of the Corporation of the Town of Milton hereby enacts as follows:

- 1.0 **THAT** Schedule A to Comprehensive Zoning By-law [016-2014](#), as amended, is hereby further amended by changing the existing Estate Residential (RE) Zone symbols to a site-specific Estate Residential (RE\*314) Zone symbol on the Lands shown on Schedule A attached hereto.
- 2.0 **THAT** Section 13.1 of Comprehensive Zoning By-law [144-2003](#), as amended, is hereby further amended by added Section 13.1.1.314 to read as follows:

Notwithstanding any provisions of the By-law to the contrary, for lands zoned site specific Residential Estate (RE\*314), the following standards and provisions shall apply:

#### A. Special Site Provisions

- 1) Contrary to Section 4.6 a), lands zoned RE\*314 permits buildings to be erected, used or occupied on any lot that does not have frontage on a public street or on a private street as described in a registered plan of condominium.
- 3.0 **THAT** pursuant to Section 34(21) of the Planning Act, R.S.O. 1990, c. P.13, as amended, this by-law comes into effect the day after the last day for filing a notice of appeal, if no appeal is filed pursuant to Subsection 34(19) of the Planning Act, as amended. Where one or more appeals have been filed under Subsection 34(19) of the said Act, as amended, this Zoning By-law Amendment comes into effect when all such appeals have been withdrawn of

finally disposed of in accordance with the direction of the Ontario Land Tribunal.

**PASSED IN OPEN COUNCIL ON MAY 9, 2022.**

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Gordon A. Krantz

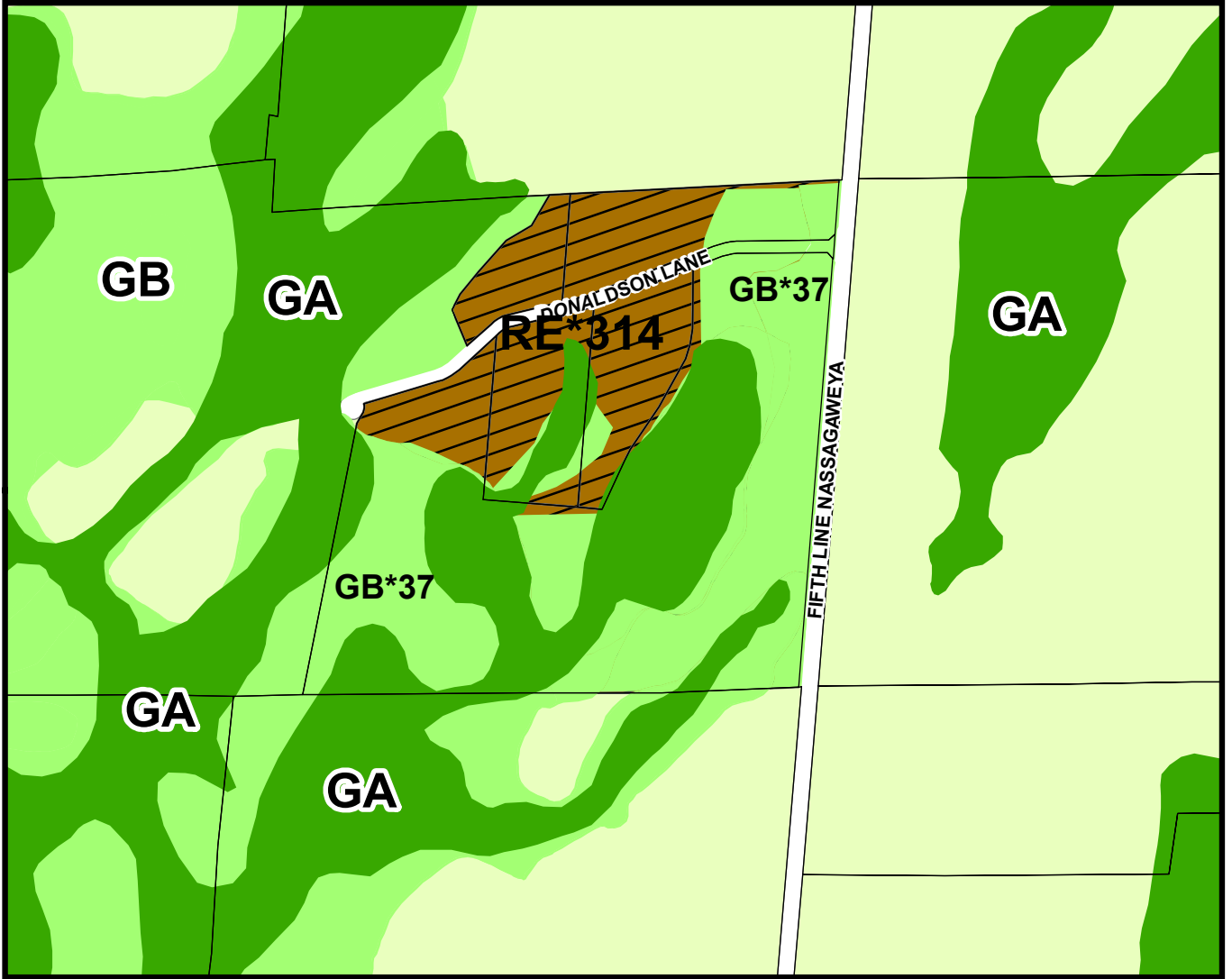
Mayor

\_\_\_\_\_  
Meaghen Reid

Town Clerk

SCHEDULE A  
TO BY-LAW No. 038-2022  
TOWN OF MILTON




PLAN 20M856 LOTS 1-5  
TOWN OF MILTON



THIS IS SCHEDULE A  
TO BY-LAW NO. 038-2022 PASSED  
THIS 9TH DAY OF MAY, 2022.

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MAYOR - Gordon A. Krantz

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CLERK- Meaghen Reid

-  RE\*314 - Estate Residential Zone Special
-  Greenlands A
-  Greenlands B

