



# The Corporation of the Town of Milton

Report To:	Council
From:	Barbara Koopmans, Commissioner, Development Services
Date:	October 25, 2021
Report No:	DS-079-21
Subject:	Public Meeting and Initial Report: Official Plan Amendment and Zoning By-law Amendment Applications by NEATT Communities, applicable to lands known municipally as 560 Main Street East, Milton. (Town Files: LOPA 05/21 & Z-09/21)
Recommendation:	<b>THAT Development Services Report DS-079-21 BE RECEIVED FOR INFORMATION.</b>

## EXECUTIVE SUMMARY

The applicant is seeking amendments to the Town of Milton Official Plan and Zoning By-law 016-2014, as amended, to facilitate the construction of two residential apartment buildings with proposed heights of 17 and 20 storeys atop of 6-storey podiums. In total, the proposed development will create 588 dwelling units, 557 square metres of commercial space and 548 parking spaces within three levels of underground parking.

The application is complete pursuant to the requirements of the Planning Act and is being processed accordingly. Upon completion of the comprehensive and thorough review process by Staff, a Technical Report, including recommendations, will be brought forward for Council consideration. The Technical Report will address issues raised through the consultation and review process.

## REPORT

### Background

#### Owner:

Neatt Communities (Nipissing) Inc., 530 Kipling Avenue, Toronto ON.

#### Applicant:

Korsiak Urban Planning, 277 Lakeshore Road East, Oakville, ON.

#### Location/Description:

The subject lands are located on the south side of Main Street East and are known municipally as 560 Main Street East (see Figure 1: Location Map). Currently, the subject lands are vacant and there are no buildings or structures on the subject lands. The site was formerly occupied by Milton Pigment and Chemical which ceased its operation a

## Background

number of years ago. The site has since been environmentally remediated to a residential standard. The subject lands are approximately 1.2 hectares in size with approximately 148 metres of frontage along Main Street. Surrounding uses include the Canadian Pacific Rail network including “Go Train” lines to the south and west, existing commercial uses to the west, north and east, which includes the “Milton Go Station”. Existing residential uses, consisting of primarily of low density uses (known as Dorset Park), are located further to the north beyond some long established commercial uses along the north side of Main Street.

## Proposal:

The applicant is seeking an amendment to the Town of Milton Official Plan, as well as an amendment to the Town of Milton Zoning By-law, to accommodate the redevelopment of these lands to permit two residential apartment buildings with proposed heights of 17 and 20 storeys and a total of 588 residential dwelling units.

Figure 2: - Concept Plan illustrates the proposed overall plan for the site. The application proposes two apartment buildings, being 17 and 20 storeys atop 6-storey podiums (Figure 3 - Rendering - Aerial View). Vehicular parking spaces are provided via three levels of underground parking, which connects the two towers and provides 548 parking spaces, which are in both at grade and within the proposed buildings to be located on site. Site access is provided via an extension to Wilson Drive in association with the revised access to the “Go Station” to the east as currently being proposed by Metrolinx.

The following reports have been submitted in support of this application:

- Planning Justification Study, dated April 2021, prepared by Korsiak Urban Planning.
- Stage 1 Archaeological Assessment, dated March 22, 2021, prepared by Parslow Heritage Consultants Inc.,
- Draft Phase One Environmental Site Assessment, dated November 22, 2018, prepared by Pinchin Ltd.
- Preliminary Landscaping and Tree Preservation Plan, dated April 8, 2021, prepared by Adesso Design Inc.
- Functional Servicing Report/Stormwater Management, dated April 20, 2021, prepared by Urbantech Consulting.
- Geotechnical Report, dated January 25, 2021, prepared by Shad & Associates and R.J. Burnside.
- Hydrogeological and Water Balance Report, dated April 2021, prepared by R.J. Burnside
- Traffic Impact Study and Parking Justification Study, dated April 2021, prepared by Paradigm Transportation.
- Noise and Vibration Study, dated April 2021, prepared by SLR Consulting Limited.



## Background

- Pedestrian Wind Design Brief, dated March 25, 2021 and prepared by SLR.
- Shadow Study, dated March 25, 2021, prepared by KNYMH.

## Discussion

### Planning Policy

The subject lands are located within the Urban Growth Centre of the Central Business District and are designated Urban Growth Centre Mixed Use Sub-Area as shown on Schedule C - Central Business District Land Use Plan of the Town of Milton Official Plan.

The Urban Growth Centre Mixed Use Sub-Area designation makes up the majority of the Central Business District and is to be planned as a concentrated, vibrant urban centre that accommodates a significant share of the Town's population and employment growth supported by Regional scale public services and major transit infrastructure. In addition to the uses permitted within the Central Business District land use designation, within the Urban Growth Centre Mixed Use Sub-Area designation, higher density residential and employment uses, major office, retail, hotels and convention centres and appropriate major institutional uses may also be permitted. All the permitted land uses within the designation shall contribute to achieving the overall minimum development density target for the Urban Growth Centre of 200 residents and jobs combined per hectare, subject to the availability of appropriate infrastructure. Additionally, Schedule K - Intensification Areas shows the subject lands as being within an identified Intensification Area and Major Transit Station Area.

Official Plan policies relevant to the proposal include:

- 2.1.3.2 Urban Area - the majority of the Town's intensification will be directed to the Urban Growth Centre, particularly the major transit station area, located around the existing GO station;
- 2.1.6 Intensification - the Town shall promote intensification in order to support the development of compact, efficient, vibrant and complete communities;
- 2.1.6.5 - it is the policy of the Town to:
  - a) Recognize the "Milton GO Station" as a Major Transit Station and the surrounding area as a Major Transit Station Area to which residential and employment intensification, including major office and appropriate institutional uses are to be directed in accordance with Section 3.5 of the Official Plan;
  - d) Direct development with higher densities, including mixed uses and transit supportive land uses to Intensification Areas;

- h) Promote development densities that will support existing and planned transit services;
  - k) Adopt parking standards for Intensification Areas that promote the use of active transportation and public transit;
  - s) Promote the use of rehabilitated brownfield and greyfield sites for residential intensification.
- 3.5.3 CBD Policies - 3.5.3.3 Significant mixed use development and residential intensification within the CBD shall be directed to the Urban Growth Centre, particularly the major transit area, upon availability of appropriate infrastructure;
  - 3.5.3.7 - Transit supportive densities and pedestrian oriented, active streetscapes and improvements to the public realm that revitalize and enhance the character of the CBD are required; and
  - 3.5.3.27 - the comprehensive development or re-development of industrial and automotive related establishments within the Urban Growth Centre and replacement with intensive high density residential, office and institutional uses shall be promoted.

Schedule C.7.A. CBD - Central Business District Height Limits indicates a maximum height of 8 storeys and as such, an application for an amendment to the Official Plan has been made to allow a maximum height of 20 storeys to accommodate the development as currently proposed. In addition, the following land uses were requested by the applicant through the application for a Zoning By-law Amendment: a Guest Suite, a Day Nursery and a Mixed Use Building. It will need to be ensured that these uses are also captured in the uses ultimately permitted on these lands should the applications be supported on the subject property. Attached as Appendix 1 to this Report is a Draft Official Plan Amendment as developed by the applicant at this point in time.

### **Town of Milton - Major Transit Station Area/Mobility Hub Study**

In February 2018, the Town initiated a multi-disciplinary study of the Milton Major Transit Station Area/Mobility Hub to make recommendations to guide future development and intensification in the area. The study is a significant component in planning for intensification in the Town of Milton. It will contribute local inputs to the Region's ongoing growth management exercise, inform the Town's own Official Plan Review, provide the evidence base and policy framework for the preparation of an area specific Secondary Plan and also support the business case for all-day, two-way "GO Train" rail service to the Town.

The Study was completed in the summer of 2020 and received by Council in August 2020. In April 2021, Council endorsed a policy directions report. The Policy Directions report outlined short, medium and longer term initiatives to implement the recommendations of the Study. In the short term, Staff is preparing specific draft amendments to the Official

Plan and Zoning By-law to align current policy and zoning provisions with the recommendations of the Study. This includes, for example, revisions to the maximum permitted height limits to align with the density and height recommendations in the Study.

### **Zoning By-law 016-2014, as amended**

The subject lands are zoned Urban Growth Centre-Mixed Use (UGC-MU) zone under the Town of Milton Zoning By-law 016-2015, as amended. The UGC-MU zone allows for Residential High Density (RHD) uses, including apartment buildings. Schedule D - Central Business District - Buildings Heights of the Zoning By-law allows for a maximum building height of 8 storeys. The applicant has filed an application for an Official Plan Amendment (OPA) and a Zoning By-law Amendment to seek Town Council's permission to increase the maximum height, to permit two buildings on this property and to adjust several other zoning by-law provisions to implement the design vision illustrated in the concept plan presented in the attachments to this report and the MTSA Study recommendations.

### **Site Plan Control**

Should the application be approved, the applicant will be required to receive Site Plan Approval prior to the commencement of any development. This will ensure that the design vision for this area and this property in particular are implemented as envisioned by both the Town and the proponent.

### **Public Consultation and Review Process**

Notice for the public meeting was provided pursuant to the requirements of the Planning Act on September 30, 2021.

The applicant also held a private virtual Public Information Centre (PIC) on September 23, 2021. No formal presentations were made at this information centre. The purpose of the PIC was to provide the public with an informal opportunity to not only view the drawings and concepts illustrating the proposal, but also to ask questions of the applicant and their technical consultants and learn about the development as proposed and the application process. Staff were present at the PIC as well as 4 members of the public attended the information Centre but only 1 member spoke. These residents asked questions pertaining to:

1. Stopping the use (at times) of Lorne Scots Drive for parking over-flow for the "Milton Go Station" Parking Lot.

With regard to the proposal, staff has identified the following matters to be addressed through the review process:

- Site Design, Built Form, Massing, Urban Design, Height and Density;





# FIGURE 1 LOCATION MAP



Council Meeting Date:  
October 25, 2021

Scale: 1: 1,300

Files: Z-09/21 &  
LOPA-05/21

Development Services Department



Subject Property





**AMENDMENT NUMBER XX**  
**TO THE OFFICIAL PLAN OF THE TOWN OF MILTON**

**Part of Lot 13, Concession 3 (NS Trafalgar)**  
**560 Main Street East**  
**Town of Milton**  
**(Town File: LOPA-XX/21)**

**DRAFT**

**AMENDMENT NUMBER XX**

**TO THE OFFICIAL PLAN OF THE TOWN OF MILTON**

**PART 1**      **THE PREAMBLE, does not constitute part of this Amendment**

**PART 2**      **THE AMENDMENT, consisting of the following text constitutes  
Amendment No. XX to the Official Plan of the Town of Milton**

**DRAFT**

## **PART I: THE PREAMBLE**

### **THE TITLE**

This amendment, being an amendment to the Official Plan of the Town of Milton shall be known as:

Amendment No. XX  
To the Official Plan of the Town of Milton

560 Main Street East  
(Part of Lot 13, Concession 3 (NS Trafalgar))  
(Town of Milton)  
(LOPA XX/21)

### **PURPOSE OF THE AMENDMENT**

The purpose of this amendment is to add Specific Policy Area XX to the lands at 560 Main Street East.

### **LOCATION OF THE AMENDMENT**

The subject lands are located on the north side of the Canadian Pacific Railway Line, on the south side of Main Street East, generally east of Ontario Street South and generally west of Thompson Road South. The lands are municipally identified as 560 Main Street East and are legally described as Part of Lot 13, Concession 3 (NS Trafalgar), Town of Milton.

### **BASIS OF THE AMENDMENT**

The proposed amendment would permit the development of two mixed use or purpose designed residential buildings of 20 and 17 storeys, respectively, with a Floor Space Index (FSI) of up to 5.0.

- a) The subject application proposes intensification which is consistent with the Provincial Policy Statement (PPS 2020) and Provincial Growth Plan (2020 Office Consolidation). The Provincial policies contained in the PPS 2020 and Growth Plan actively promote and encourage compact urban form, intensification, optimization of existing land base and infrastructure and development which will take better advantage of existing public transit.
- b) The proposal contributes in building a complete community that is compact and creates a mixed-use, transit supportive and pedestrian-friendly area where residents could live, work and shop.

- c) The proposal represents intensification within Milton's Urban Growth Centre that would make a positive contribution to meeting the Town's growth targets in accordance with Town, Region and Provincial planning policy.
- d) The close proximity of the subject lands to the multi-modal transit hub at the Go Station justifies reducing the Town's normal parking standards and reduces the dependence on the automobile.
- e) The proposed new landmark would bring a vibrant new residential mixed use to the Urban Growth Centre and would provide for a range of housing opportunities for present and future residents of all ages and incomes.
- f) The subject application promotes urban design excellence within Milton's Urban Growth Centre and will help maintain and enhance a well-designed built form that contributes to community image and identity.
- g) The proposed high-rise residential mixed use building is compatible with surrounding land uses and an appropriate form of residential intensification.

## **PART II: THE AMENDMENT**

All of this part of the document entitled Part II: THE AMENDMENT consisting of the following text constitutes Amendment no. to the Town of Milton Official Plan.

### **DETAILS OF THE AMENDMENT**

The Official Plan of the Town of Milton is hereby amended by Official Plan Amendment No. XX pursuant to Section 17 and 21 of the Planning Act, as amended, as follows:

#### 1.0 Map Change

- 1.1 Amending Schedule I1 – “Urban Area Specific Policy Areas” by adding Special Policy Area No. XX to the lands at 560 Main Street East (known legally as Part of Lot 13, Concession 3 (NS Trafalgar)).
- 1.2 Amending Schedule C.7.A.CBD – Central Business District Secondary Plan, Height Limits by permitting a maximum height of 20 storeys on the lands at 560 Main Street East (known legally as Part of Lot 13, Concession 3 (NS Trafalgar)).

#### 2.0 Text Change

##### 2.1 Adding the following text to Section 4.11 “Specific Policy Area”:

4.11.3.XX The land identified as Specific Policy Area No. XX on Schedule I1 of this Plan, being the lands at 560 Main Street East may be developed to provide two mixed use or purpose designed residential buildings of up to 20 storeys in height and Floor Space Index (FSI) of between 3.0 - 5.0.

## THE CORPORATION OF THE TOWN OF MILTON

### BY-LAW NO.XX.2021

BEING A BY-LAW OF THE TOWN OF MILTON TO ADOPT AN AMENDMENT TO THE TOWN OF MILTON OFFICIAL PLAN PURSUANT TO SECTION 17 OF THE PLANNING ACT, AS AMENDED, IN RESPECT OF THE LANDS MUNICIPALLY IDENTIFIED AS 560 MAIN STREET EAST, LEGALLY DESCRIBED AS PART OF LOT 13, CONCESSION 3, (NS TRAFALGAR), TOWN OF MILTON IN THE REGIONAL MUNICIPALITY OF HALTON (FILE NO. LOPA XX/21)

The Council of the corporation of the Town of Milton, in accordance with the provisions of Section 17 and 21 of the Planning Act R.S.O. 1990, c. P.13, as amended, hereby enacts as follows:

1. Amendment No. XX to the Official Plan of the Town of Milton, to amend Schedules I1 and C.7.A.CBD of the Town of Milton Official Plan to provide for permission for the development of two mixed-use or purpose designed residential buildings with heights of 20 & 17 storeys, respectively, with a Floor Space Index of between 3.0 – 5.0, at lands located at 560 Main Street East and legally described as Part of Lot 13, Concession 3 (NS Trafalgar), Town of Milton, consisting of the attached maps and explanatory text, is hereby adopted.
2. Pursuant to Subsection 17(27) of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, this Official Plan Amendment comes into effect the day after the last day for filing a notice of appeal, if no appeal is filed pursuant to Subsections 17 (24) and (25). Where one or more appeals have been filed under Subsection 17 (24) or (25) of the said Act, as amended, this Official Plan Amendment comes into effect when all such appeals have been withdrawn or finally disposed of in accordance with the direction of the Local Planning Appeal Tribunal.
3. In the event that the Regional Municipality of Halton, being the Approval Authority, has declared this Official Plan Amendment to not be exempt, the Clerk is hereby authorized and directed to make application to the Approval Authority for approval of the aforementioned Amendment Number XX to the Official Plan of the Town of Milton.

**READ A FIRST, SECOND AND THIRD TIME and FINALLY PASSED this \*\* day of  
\*\*\*\*\*, 2021**

\_\_\_\_\_  
**Gordon A. Krantz** Mayor

\_\_\_\_\_  
**Troy McHarg** Town Clerk

DRAFT

THIS IS SCHEDULE '12' TO OFFICIAL  
PLAN AMENDMENT NO. 31

# TOWN OF MILTON OFFICIAL PLAN

## Schedule I1

### Urban Area Specific Policy Areas (Refer to section 4.11)

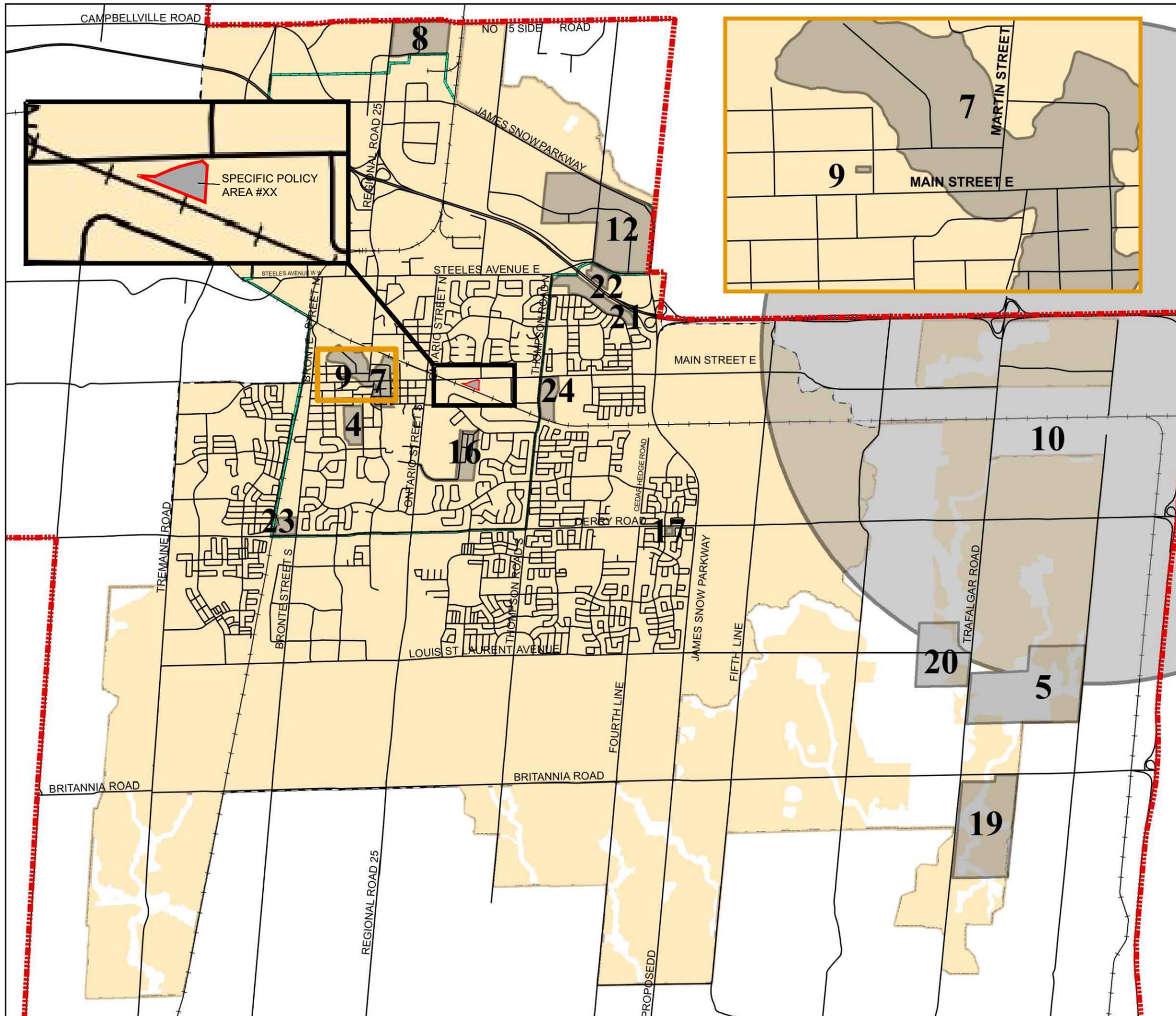
-  TOWN OF MILTON BOUNDARY
-  ESTABLISHED URBAN AREA BOUNDARY
-  HUSP URBAN AREA BOUNDARY
-  URBAN AREA
-  8 SPECIFIC POLICY AREA & NUMBER



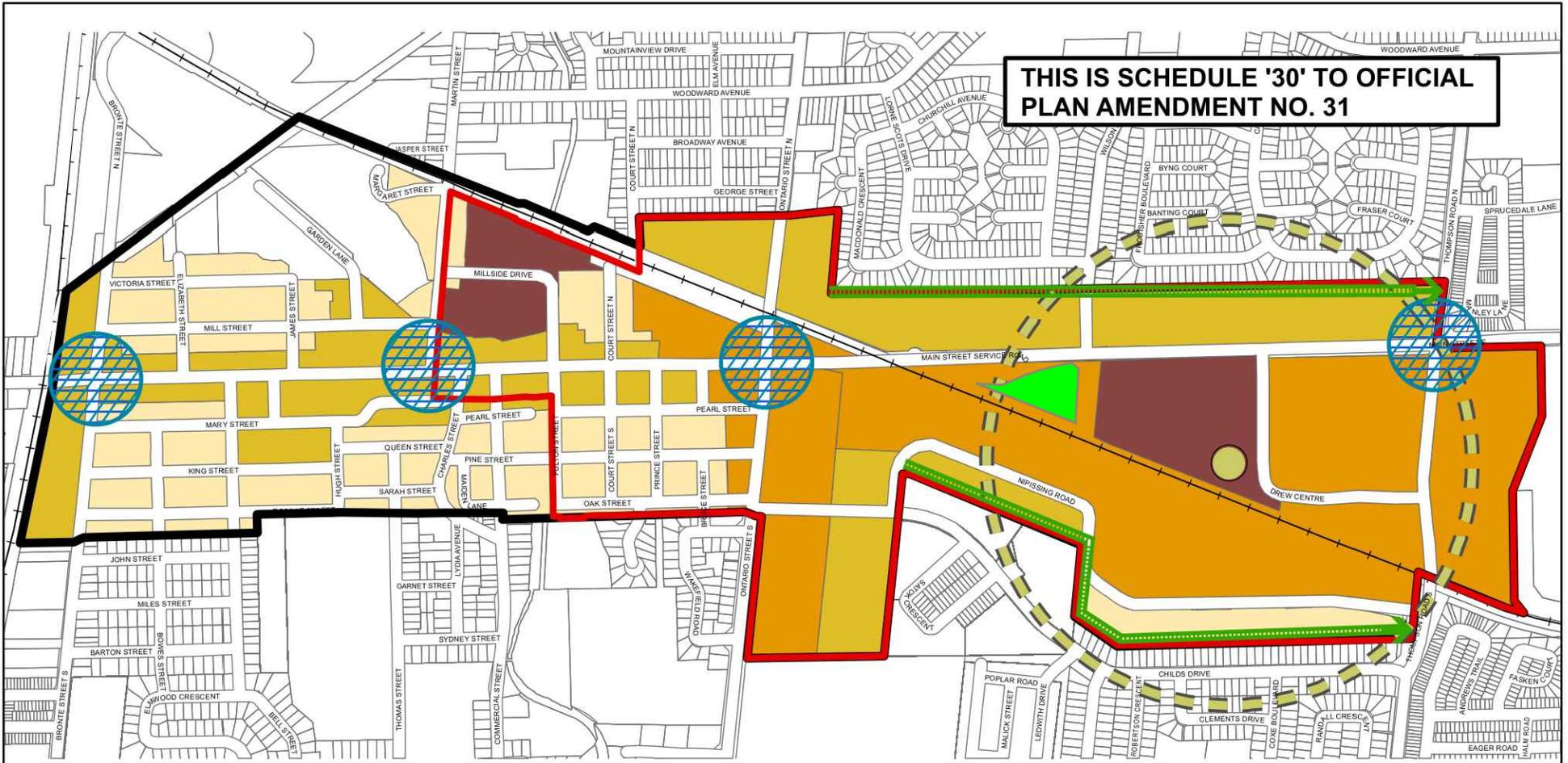
This schedule forms part of the Official Plan  
and should be read in conjunction with the text.

Copyright 2010: Town of Milton, Teranet Inc.

June 2010



**THIS IS SCHEDULE '30' TO OFFICIAL PLAN AMENDMENT NO. 31**



-  URBAN GROWTH CENTRE
-  CENTRAL BUSINESS DISTRICT
-  MAJOR TRANSIT STATION
-  MAJOR TRANSIT STATION AREA

-  GATEWAY
-  TRANSITION AREAS

**MAXIMUM HEIGHTS**

-  1-2 STOREYS
-  3-4 STOREYS
-  6-8 STOREYS
-  10-14 STOREYS
-  20 STOREYS

**TOWN OF MILTON  
OFFICIAL PLAN  
CENTRAL BUSINESS DISTRICT  
SECONDARY PLAN  
Schedule C.7.A.CBD  
Central Business District  
Height Limits**



This Schedule Forms Part Of The Official Plan And Should Be Read Together With The Text.

Copyright 2018: Town of Milton, Tarennet Inc.

**April, 2018**

# THE CORPORATION OF THE TOWN OF MILTON

## BY-LAW NO.XXX.2021

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT IN RESPECT OF THE LANDS DESCRIBED AS PART OF LOT 13, CONCESSION 3, FORMER GEOGRAPHIC SURVEY OF TRAFALGAR, TOWN OF MILTON, REGIONAL MUNICIPALITY OF HALTON (560 MAIN STREET EAST MILTON INC.) – TOWN FILE - Z-XX/21

**WHEREAS** the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended;

**AND WHEREAS** the Town of Milton Official Plan will provide for the lands affected by this By-law to be zoned as set forth in this By-law upon the approval of Official Plan Amendment Number XX.

**NOW THEREFORE** the Council of the Corporation of the Town of Milton hereby enacts as follows:

1. **THAT** Schedule A to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing the existing Urban Growth Centre Mixed Use (UGC-MU) Zone symbol to the to a new site-specific Urban Growth Centre Mixed Use (UGC-MU\*XXX) Zone symbol on the lands shown on Schedule A attached hereto.
2. **THAT** Schedule D to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing the existing Maximum Building Height to 20 storeys on the land shown on Schedule B attached hereto.
3. **THAT** Section 13.1 of Comprehensive By-law 016-2014, as amended, is hereby further amended by adding subsection 13.1.1.XXX as follows:

Urban Growth Centre Mixed Use – Special Section (UGC-MU\*XXX) Zone

**(i) Additional Permitted Uses:**

- a. Guest Suite
- b. A Day Nursery
- c. A Mixed Use Building

**(ii) Definitions:**

For the purpose of this by-law:

- a. TOWER FLOOR PLATE AREA means the gross horizontal floor area of a single floor measured from all the exterior walls of a building or structure excluding balconies.
- b. LONG TERM BICYCLE PARKING means bicycle parking spaces located within the building for the use by occupants or tenants of a building;
- c. SHORT TERM BICYCLE PARKING means bicycle parking spaces for use by visitors to a building.
- d. GUEST SUITE is a room within the apartment building that is not connected to any individual apartment, but which includes bedroom and bathroom space that can be used by visitors to the apartment building as overnight temporary accommodation and it shall not include a kitchen. A Guest Unit does not constitute an apartment and shall not require a separate parking provision.

**(iii) Special Provisions:**

- a) Drive-through facilities either stand-alone or ancillary to another permitted use is not permitted the lot.
- b) Despite any provisions to the contrary, more than one residential building is permitted on the lot.
- c) Notwithstanding the provisions of Section 4.19.4, Exceptions to Height Requirements, the calculation of Building Height shall be exclusive of mechanical penthouses, rooftop equipment, elevator tower, stair tower and/or architectural features such as parapets and screen walls.
- d) Notwithstanding Section 5.8.1, Table 5E, to the contrary the minimum off-street parking requirements shall be:
  - a. 0.72 spaces per dwelling unit plus 0.21 visitor parking spaces per dwelling unit.
  - b. Visitor parking associated with a residential use, and client parking associated with a permitted non-residential use, may be provided in any combination of a parking structure and may be used for any combination of residential and permitted non-residential uses.

- e) Notwithstanding Section 5.14.1 to the contrary, the underground parking structure may be located within 0.0 m of a street line or lot line.
- f) Notwithstanding Section 5.10, to the contrary, the bicycle parking requirement for a mixed-use building or apartment building shall be 1.00 Long-term spaces per dwelling unit plus 0.05 visitor Short-term parking spaces per dwelling unit.
- g) A minimum of 4 square metres per *dwelling unit* of outdoor communal *amenity* space shall be provided at *grade* and/or as a rooftop amenity area on the podium and shall be maintained and operated by a common entity (such as a condominium corporation). This outdoor communal *amenity* space shall be aggregated into areas of not less than 50 square metres and have a minimum width of 6.0 metres.
- h) The podium of a residential or mixed use building shall have a minimum height of 3 storeys and a maximum height of 6 storeys.
- i) Any portion of a building between a height of 7 storeys and 12 storeys must not exceed a floor plate area of 1,200 square metres on the development site.
- j) Any portion of a building between 13 storeys and 15 storeys must not exceed a floor plate area of 1,000 square metres on the development site.
- k) Any portion of a building above a height of 15 storeys must not exceed a floor plate area of 750 square metres.
- l) Despite any provision to the contrary, where there is more than one residential building on the lot, the minimum separation between towers shall be 25 metres measured from the main face of the building and excluding balconies.
- m) A minimum of 500 square metres of commercial gross floor area shall be provided at grade.
- n) Waste storage areas shall be located within the principal building or underground parking garage.
- o) Any awning, canopy and/or similar weather shielding structure, and any restaurant patio, may project to any lot line.

- p) Transformers and Telecommunications: Transformers and telecommunications vaults and pads shall be permitted to project 0.5 metres to a public street beyond the main wall of the building.
- q) Building Height: Minimum height of a non-residential first storey (measured from top-of-slab to top-of-slab) of a mixed use building is 4.5 metres.
- r) Despite any provisions to the contrary, a Guest Suite does not constitute an apartment and shall not require a separate parking provision.

**(iv) Zone Standards:**

Notwithstanding the provisions of Section 7.2, Table 7C to the contrary:

- a) Minimum permitted Floor Space Index (FSI) shall be 3.0.
- b) Maximum permitted Floor Space Index (FSI) shall be 5.0.
- c) Maximum lot coverage shall be 70%.
- d) Minimum building setback to Main Street East shall be 6.0 metres.
- e) Maximum building setback to Main Street East shall be 14.0 metres.
- f) Minimum Building Setback to Wilson Drive shall be 2.0 metres.
- g) Maximum Building Setback to Wilson Drive shall be 9.5 metres.
- h) Maximum exterior side yard shall be 9.5 metres.
- i) Maximum height of all buildings is 20 storeys and 66.5 metres.

4. **THAT** if no appeal is filed pursuant to Section 34(19) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, or if an appeal is filed and the Local Planning Appeal Tribunal dismisses the appeal, this by-law shall come into force on the day of the passing. If the Local Planning Appeal Tribunal amends the by-law pursuant to Section 34(26) of the *Planning Act*, as amended, the part or parts so amended come into force upon the day the Tribunal's Order is issued directing the amendment or amendments.

**PASSED IN OPEN COUNCIL ON XXXXXX, 2021.**

\_\_\_\_\_  
**Gordon A. Krantz** Mayor

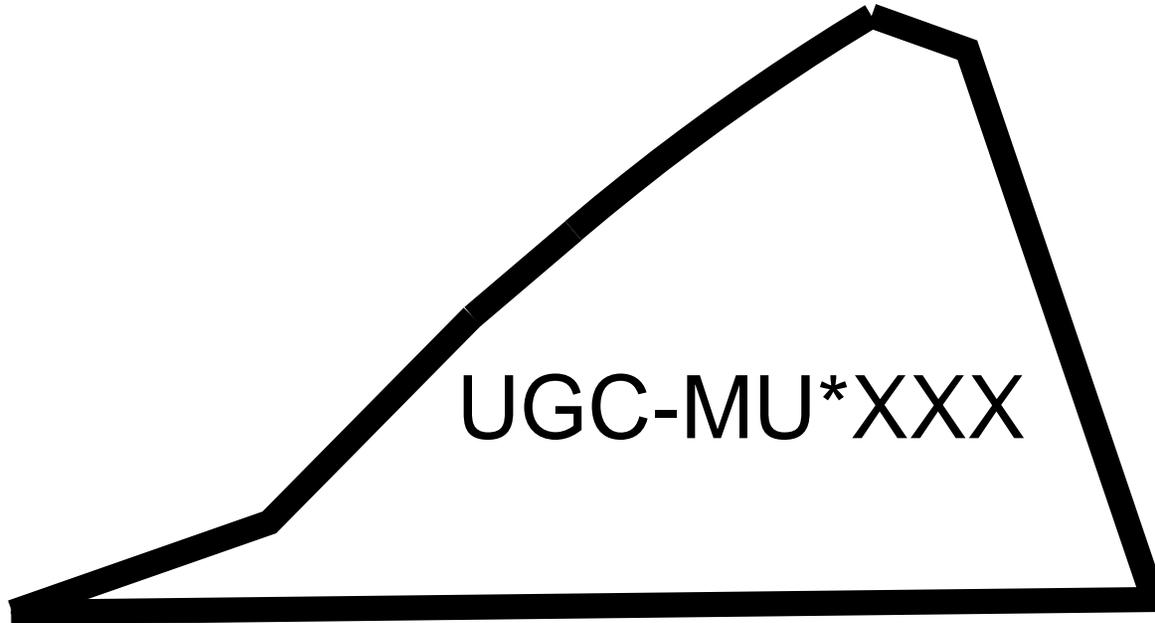
\_\_\_\_\_  
**Troy McHarg** Town Clerk

SCHEDULE A  
TO BY-LAW No. \*\*\*-2021  
TOWN OF MILTON

560 MAIN STREET EAST MILTON INC.

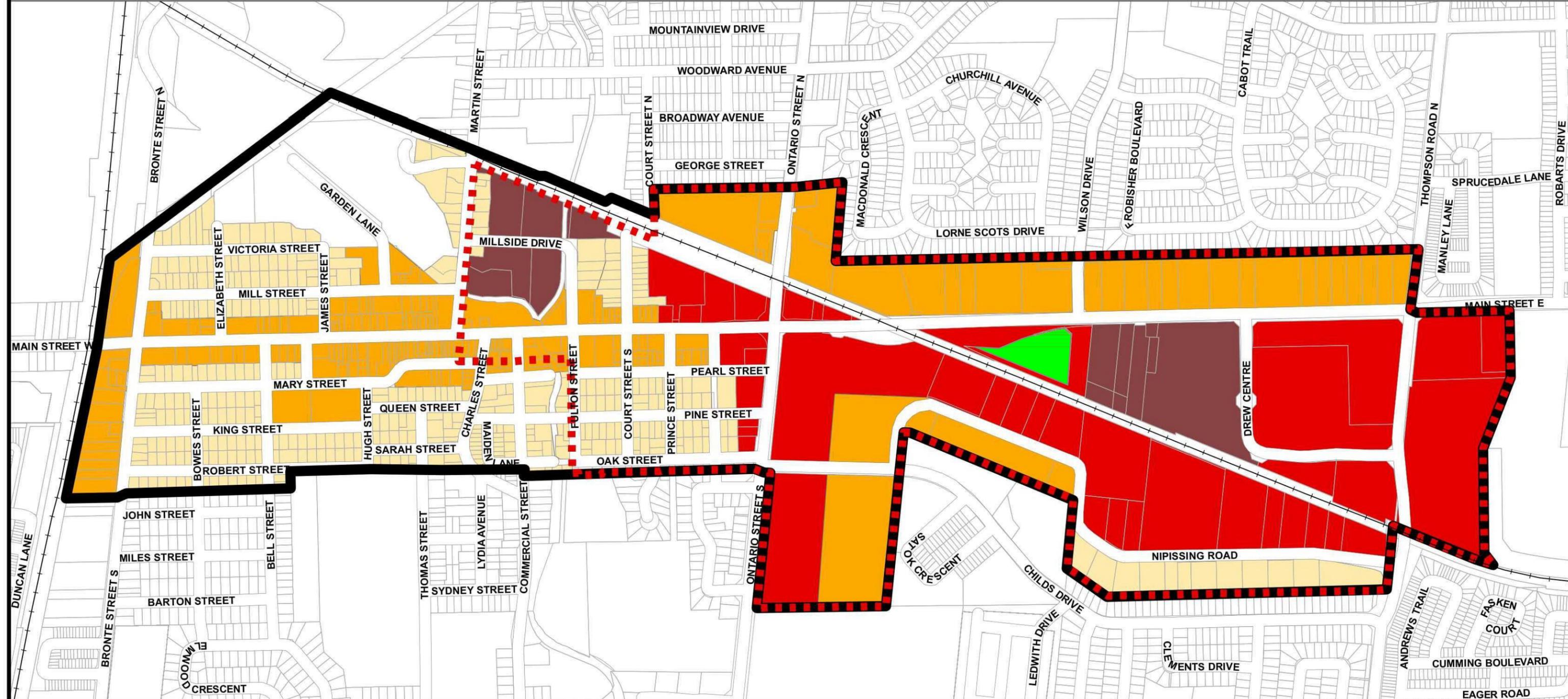
Z-\_\_\_\_\_  
March 24, 2021

PART OF LOT 13, CONCESSION 3, NEW SURVEY (TRAFALGAR)  
TOWN OF MILTON



# SCHEDULE D

## Central Business District - Building Heights



**Town of Milton**  
**Zoning By-law 016-2014**  
**(HUSP Urban Area)**

Date: 19, November 2020

- Max 2 Storeys; height in accordance with the provisions of Table 6B
- Min 3 Storeys and 10.5m  
Max 4 Storeys and 16.5m
- Min 6 Storeys and 19.5m  
Max 8 Storeys and 29m

- Min 10 Storeys and 31.5m  
Max 14 Storeys and 42m
- Max 20 Storeys and 66.5 m

- Central Business District
- Urban Growth Centre

