



The Corporation of the Town of Milton

Report To:	Council
From:	Barbara Koopmans, Commissioner, Development Services
Date:	December 14, 2020
Report No:	DS-050-20
Subject:	Public Meeting Report - Proposed Plan of Condominium (Common Elements) by Mattamy (Brownridge) Limited (24CDM-20002/M Mattamy Martin East Phase 1)
Recommendation:	<p>THAT Development Services Report DS-050-20 BE RECEIVED FOR INFORMATION;</p> <p>AND THAT Town of Milton Council supports the granting of Draft Plan Approval by the Commissioner of Development Services for the proposed plan of condominium upon completion of the technical review and public consultation for the application.</p>

EXECUTIVE SUMMARY

The applicant, Mattamy (Brownridge) Limited, has applied for approval of a Common Elements Condominium in order to create condominium roads, visitor parking, landscaping, and sidewalks for 117 freehold townhouse dwellings. The plan of condominium applies to two separate blocks that are divided by Whitlock Avenue, between Kennedy Circle West and Thompson Road. As the condominium was not identified at the time of the public meeting for the plan of subdivision, a separate public meeting must be held in accordance with the requirements of the Planning Act and the Condominium Act.

Staff recommends that upon completion of the consultation and review process, the condominium application be draft approved, subject to conditions.

REPORT

Background

Owner: Mattamy (Brownridge) Limited, 433 Steeles Avenue East, Milton, ON L9T 8Z4

Location/Description: The subject lands are located on the north and south sides of Whitlock Avenue between Kennedy Circle West and Thompson Road within Phase 1 of the Martin East Subdivision (24T-17002/M). The lands are legally described as Blocks



The Corporation of the Town of Milton

Background

257 and 258, Plan 20M-1219 and are municipally known as 975 Whitlock Avenue (north block) and 1285 Sycamore Garden (south block), respectively. See Figure 1 - Location Map.

Surrounding land uses are medium density residential and a soon to be constructed Catholic elementary school to the west, medium density residential to the south, an undeveloped secondary mixed use node to the north, and Thompson Road to the east.

Proposal: The application proposes to establish 5 condominium roads (two of which are private lanes), 26 visitor parking spaces, sidewalks, landscaping, and community mailboxes as a common element for Blocks 257 and 258 on Plan 20M-1219. The common elements condominium is required to provide legal pedestrian and vehicular access to 117 freehold townhouse dwelling units (i.e. 39 standard townhouse, 50 rear-lane townhouse and 28 back-to-back townhouse dwellings) and to ensure shared ownership and maintenance of the common elements by the condominium corporation.

The majority of the landscaping is proposed to be included within the residential lots (parcels of tied land (POTL)) with the exception of those yards that front onto Whitlock Avenue and the northwest corner of Whitlock Avenue and Thompson Road. To ensure consistency in landscaping along Whitlock Avenue, the aforementioned landscape areas shown as Y1 to Y28 on the draft plan of condominium, will form part of the common elements, will be maintained by the condominium corporation, but unlike other common elements where all owners have access, these common elements will be for the exclusive use of the POTL owner adjacent to it. These areas are referred to as "Exclusive Use Common Element Area."

Figure 2 illustrates the common elements and their relationship to the future POTLs.

The following information was submitted in support of the condominium application:

- Draft Plan of Condominium, dated June 25, 2020
- Draft Declaration, dated July 2020

Required technical reports and detailed design drawings were submitted in support of the site plan applications (SP-14/19 and & SP-18/19) applicable to each block. Both blocks have now been site plan approved and are subject to site plan agreements with the Town which were registered on title on May 15, 2020. Figures 3 and 4 illustrate the approved site plans on which the proposed plan of condominium is based.

The subject 117 unit townhouse development is currently under construction.



The Corporation of the Town of Milton

Discussion

Circulation of Public Notices: November 19, 2020. Public notice signs have also been placed on the subject property in accordance with Planning Act.

Circulation to Public Agencies: July 31, 2020. Conditions requested by the agencies will be imposed as conditions of draft approval of the plan of condominium.

The subject lands form part of the Mattamy Martin East subdivision, approved by Council in June 2019 (Report PD-026-19; File numbers: 24T-17002/M and Z-14/17). The proposed common elements condominium was not identified as part of these applications and therefore, the current condominium application requires a public meeting under the Planning Act.

The condominium review will deal with ownership matters and ensure that the technical requirements identified through the associated site plan applications are implemented. Upon completion of the consultation and review process the condominium application will be draft approved, subject to conditions. A technical report is not required to be brought forward to Council in relation to this matter.

It should be noted that the applicant has applied concurrently for an exemption from Part Lot Control, which upon approval and passing of the implementing by-laws, will create conveyable lots for the 117 townhouse dwelling units and required maintenance easements.

Financial Impact

None arising from this Report.

Respectfully submitted,

Barbara Koopmans, MPA, MCIP, RPP, CMO
Commissioner, Development Services

For questions, please contact: Angela Janzen, MCIP, RPP Phone: x2310
Development Planner

Attachments

Figure 1 - Location Map
Figure 2 - Draft Plan of Condominium
Figure 3 - Approved Site Plan - North Block 257
Figure 4 - Approved Site Plan - South Block 258



The Corporation of the Town of Milton

CAO Approval
Andrew M. Siltala
Chief Administrative Officer

FIGURE 1 LOCATION MAP



Council Meeting Date:
December 14, 2020

Scale: 1: 3,000

Files: 24CDM-20002M

Development Services Department



Subject Property
5 of 8



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NOTES:

REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE PLANTINGS AND FENCE DETAILS

THE CONDOMINIUM CORPORATION IS REQUIRED TO REMOVE SNOW OFF-SITE BY A PRIVATE COMPANY AND MAINTAIN REQUIRED PARKING UNENCUMBERED BY SNOW.

THE CONDOMINIUM CORPORATION IS REQUIRED TO MAINTAIN THE REQUIRED ACCESSIBLE PARKING SPACES AND NOT TO PERMIT CONVERSION TO STANDARD PARKING SPACES

12	3RD SUBMISSION COMMENTS APPLIED	2020.03.10 JS
11	3RD SUBMISSION COMMENTS APPLIED	2020.03.03 JS
10	STIMUS ISSUED TO ENGINEER	2020.01.24 JS
9	ISSUED FOR SPA (3RD SUBMISSION)	2020.01.23 JS
8	PLAN UPDATED PER ENGINEERS COMMENTS	2020.01.22 JS
7	PLAN UPDATED PER TOWN COMMENTS	2019.12.16 JS
6	PLAN UPDATED PER UTILITIES PLAN	2019.10.24 JS
5	1ST SPA SUBMISSION COMMENTS APPLIED	2019.10.09 JS
4	ISSUED FOR SPA SUBMISSION	2019.07.26 JS
3	REVISED AND ISSUED TO ENGINEER	2019.07.26 JS
2	ISSUED FOR CLIENT REVIEW	2019.06.03 JS
1	ISSUED FOR THIS CALCIATIONS	2019.05.28 JS

Issued / Revision Chart

MARTIN EAST
BLOCK 257

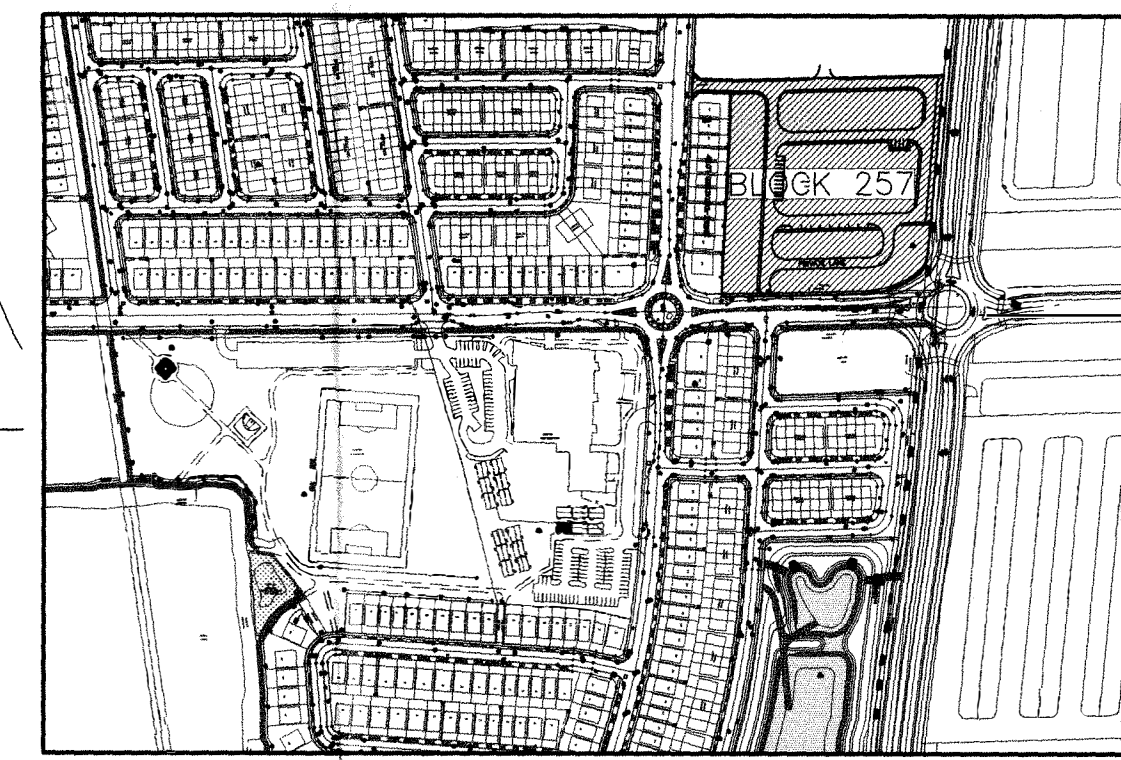
CONDOMINIUM
TOWNHOUSES

MILTON, ON.

Mattamy (Brownridge) Limited

Project No. 17044
Scale 1:300
Drawn By DS
Checked By JS

SITE PLAN BLOCK 257
24T-17002/M
SP- 18/19



KEY PLAN 24T-17002/M
N.T.S.

ITEM	PROPOSED	REQUIRED
A. ZONING CATEGORY:	RMD1*264 RMD2*265	
B. LOT AREA: BLOCK 257	2.106 Ha 5.20 ACRES 21062 m ²	
C. TOTAL NUMBER OF UNITS: 2 STOREY TOWNHOUSES (7.01m) REAR LANE TOWNHOUSES (6.05m) BACK TO BACK TOWNHOUSES (6.40m)	93 39 26 28	
C-A. DENSITY	44.16 UNITS/Ha	
D. GROUND FLOOR AREA:	7355.40 m ²	
E. TOTAL GROSS FLOOR AREA: 2 STOREY TOWNHOUSES REAR LANE TOWNHOUSES BACK TO BACK TOWNHOUSES	12,741.42 m ² 6123.21 m ² 4770.96 m ² 1847.25 m ²	
F. LOT COVERAGE:	34.92% (7355.40 m ²)	NO MAXIMUM
G. RESIDENTIAL PARKING SPACES: VISITOR PARKING SPACES TOTAL NUMBER OF SPACES	186 24 209	186(2 SPACES/UNIT) 24 (0.25x93 UNITS) 209 REQ'D
H. NUMBER OF ACCESSIBLE PARKING SPACES	1	1 REQ'D
I. PERCENTAGE OF LOT COVERED BY PARKING, LANES, & ACCESS	24.93% (5,251.48 m ²)	
J. PERPENDICULAR PARKING STALL DIMENSIONS (168) PARALLEL PARKING STALL DIMENSIONS (18) TYPE A ACCESSIBLE PARKING STALL DIMENSIONS (1)	2.75m x 5.80m 2.75m x 6.50m 3.40m x 5.80m	2.75m x 5.80m 2.75m x 6.50m 3.40m x 5.80m
K. PERCENTAGE OF LANDSCAPED AREAS	40.14% (8455.12 m ²)	NO MINIMUM
L. MAXIMUM BUILDING HEIGHT i) PRINCIPAL BUILDINGS ii) ACCESSORY BUILDINGS	10.51 m N/A	12.50 m N/A
M. TYPICAL DRIVEWAY WIDTH 2 STOREY TOWNHOUSES (7.01m) REAR LANE TOWNHOUSES (6.05m) BACK TO BACK TOWNHOUSES (6.40m)	3.35m 6.05m 3.35m	

LEGEND

- ▲ EXTERIOR DOOR LOCATION (C.R. No. OF RISERS)
- SIDE WINDOW LOCATION
- DC DEPRESSED CURB (SEE ENGINEERING DRAWINGS)
- Rd-93 ACCESSIBLE PARKING SPACE (SEE TRAFFIC CONTROL PLAN)
- VP VISITORS PARKING SPACE SIGN (SEE TRAFFIC CONTROL PLAN)
- DECORATIVE PAVING
- SNOW STORAGE AREA
- COMMON ELEMENT
- EXCLUSIVE USE
- SITE BOUNDARY
- 26 LEGAL LOT NUMBER CROSS REFERENCE TO SITING ANALYSIS
- UNIT 15 MUNICIPAL UNIT NUMBERS
- 1.2m METAL FENCE (SEE LANDSCAPE PLAN)
- CROSSBUCK FENCE (SEE LANDSCAPE PLAN)
- PRIVACY FENCE
- TRANSFORMER
- LP LIGHT POLE
- HYDRANT
- REV REVERSE PLAN
- MAILBOX (NOT TO SCALE)
- ROGERS PEDESTAL
- ROGERS VAULT
- BELL PEDESTAL
- CATCH BASIN
- MULTIPLE UNIT IDENTIFICATION SIGN (SEE LANDSCAPE PLAN)
- MANHOLE COVER
- WATER SERVICE
- TACTILE PLATE AT DEPRESSED CURB
- SUMP PUMP DISCHARGE
- DBL SAN CONNECTION
- SINGL SAN CONNECTION
- SINGL STM CONNECTION
- G GAS METER
- H HYDRO-ELECTRIC METER
- Rd-1 STOP SIGN
- NP NO PARKING SIGN (FIRE ROUTE 48-82)

SITE PLAN APPROVAL

SITE PLAN FILE: SP 18/19
Subject to the conditions, if any, set forth in the approval details:
MAR 09 2020
this plan is approved under Section 21 of the Planning Act, R.S.O. 1990, c.P. 13, as amended, on MAR 16 2020
by the Commissioner of Planning and Development of the Town of Milton.
Commissioner of Planning and Development
(Authority Granted by By-law 055-2015, as amended)

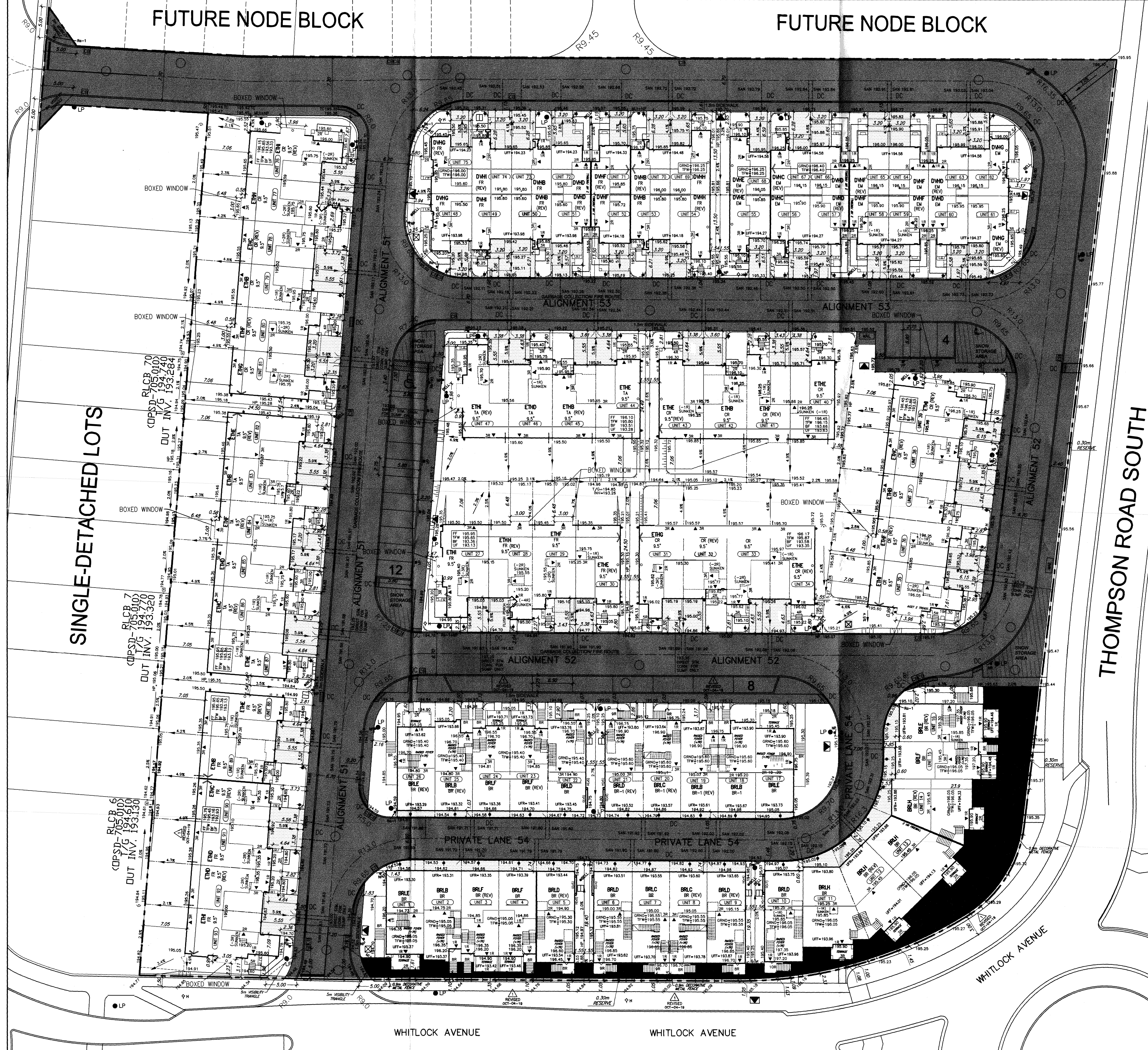


FIGURE 4
DS-050-20



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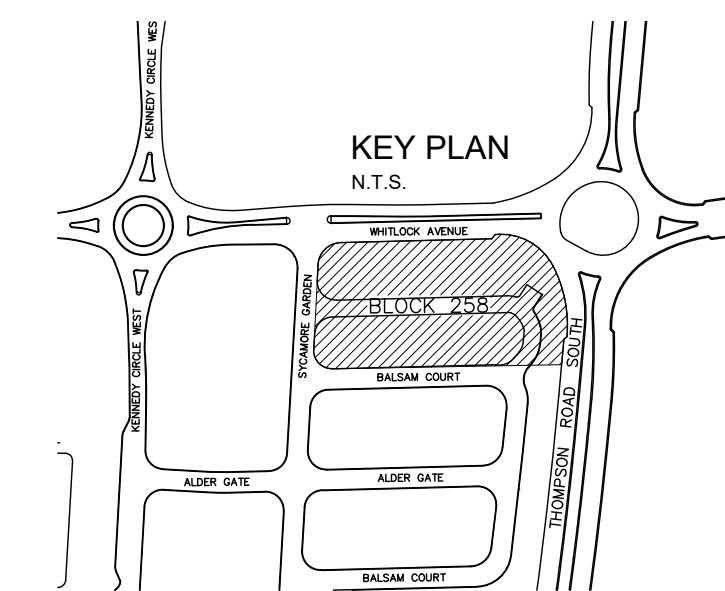


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NOTES:

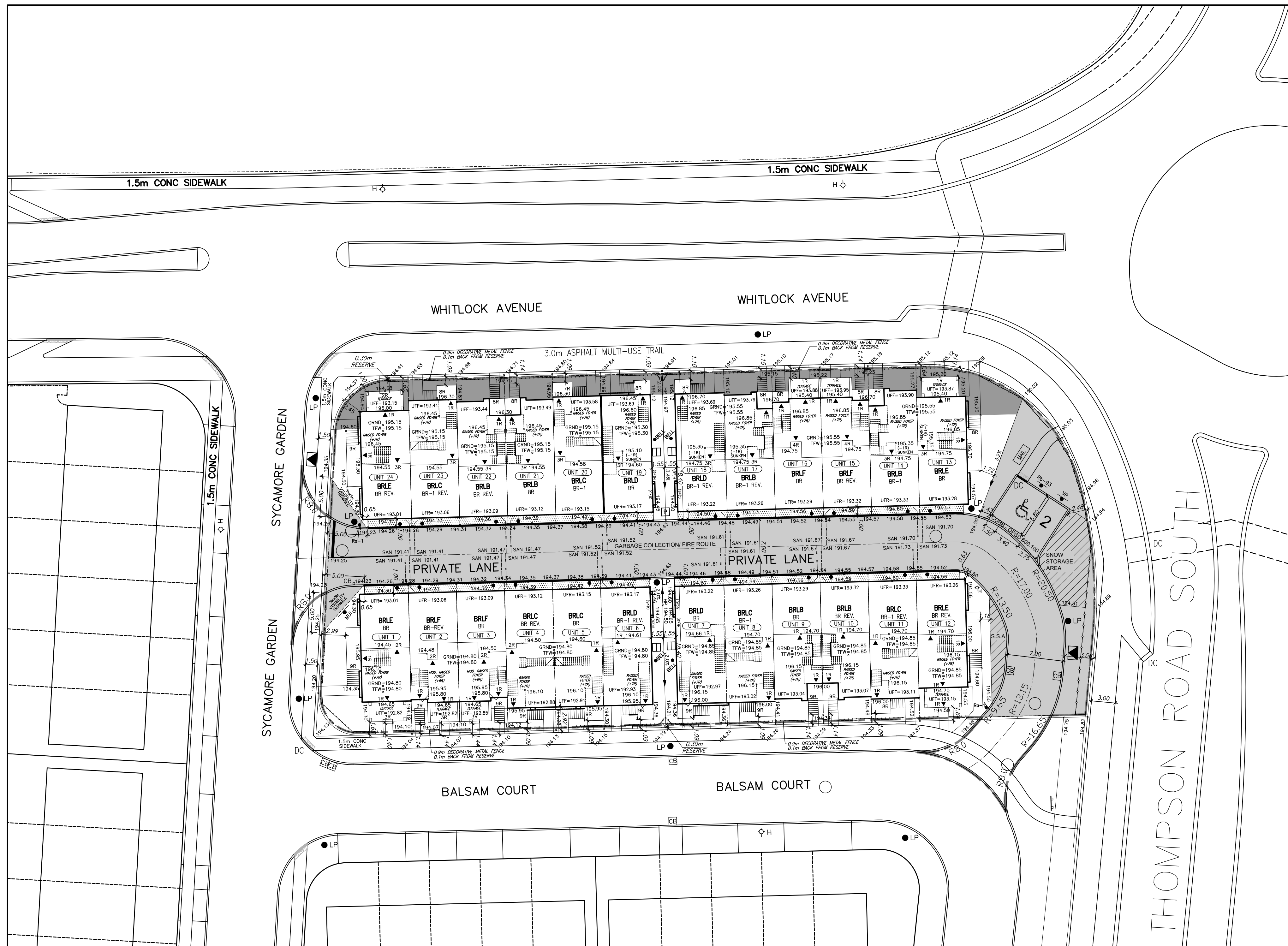
- DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS
- BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
- NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.
- PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SITE, SNOW FENCE IS INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING. THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER, DEVELOPER ENGINEERING.
- PRIOR TO COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICE DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSE OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING EXCAVATIONS (ROAD OCCUPANCY PERMIT) WITHIN THE MUNICIPAL ROAD ALLOWANCE.
- PLEASE REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE PLANTINGS & FENCE DETAILS.
- THE CONDOMINIUM CORPORATION IS REQUIRED TO REMOVE SNOW OFF-SITE BY A PRIVATE COMPANY AND MAINTAIN REQUIRED PARKING UNENCUMBERED BY SNOW.
- THE CONDOMINIUM CORPORATION IS REQUIRED TO MAINTAIN THE REQUIRED ACCESSIBLE PARKING SPACE AND NOT TO PERMIT CONVERSION TO A STANDARD PARKING SPACE.
- PAVEMENT MARKINGS AND SIGNAGE ARE TO BE IMPLEMENTED AS PER THE TRAFFIC CONTROL/PAVEMENT MARKING PLAN (TCP-101) BY GRD.



SITE STATISTICS BLOCK 258		
ITEM	PROPOSED	REQUIRED
A. ZONING CATEGORY:	RMD1*AAA	
B. LOT AREA: BLOCK 258	0.4064 Ha 1.00 ACRES 4064 m ²	
C. TOTAL NUMBER OF UNITS: REAR LANE TOWNHOUSES (6.05m)	24	24
C-A. DENSITY	59.06 UNITS/Ha	
D. GROUND FLOOR AREA:	699.75 m ²	
E. TOTAL GROSS FLOOR AREA: REAR LANE TOWNHOUSES	4314.80 m ² 4314.80 m ²	
F. LOT COVERAGE:	51.03% (2349.24 m ²)	NO MAXIMUM
G. RESIDENTIAL PARKING SPACES: VISITOR PARKING SPACES: TOTAL NUMBER OF SPACES	48 2 50	48 (2 SPACES/UNIT) 2 (DRAFT ZONING) 50
H. NUMBER OF ACCESSIBLE PARKING SPACES	1	1 REQ'D
I. NUMBER OF LOADING SPACES	N/A	N/A
J. PERCENTAGE OF LOT COVERED BY PARKING, LANES, & ACCESS:	20.10% (925.45 m ²)	
K. PERPENDICULAR PARKING STALL DIMENSIONS (1) PARALLEL PARKING DIMENSIONS (0) TYPE A ACCESSIBLE PARKING STALL DIMENSIONS (1) TYPE B ACCESSIBLE PARKING STALL DIMENSIONS (0)		2.75m x 5.80m 2.75m x 6.50m 3.40m x 5.80m 2.75m x 5.80m
L. LOADING SPACE DIMENSIONS	N/A	N/A
M. PERCENTAGE OF LANDSCAPED AREAS	28.87% (1,329.31m ²)	NO MINIMUM
N. PERCENTAGE OF LOT IN: WORK YARD, OPEN AIR OPERATIONS, OUTSIDE LOADING AREA OR DISPLAY AREA	N/A	N/A
O. MAXIMUM BUILDING HEIGHT i) PRINCIPAL BUILDINGS ii) ACCESSORY BUILDINGS	10.51 m N/A	12.50 m N/A
P. TYPICAL DRIVEWAY WIDTH REAR LANE TOWNHOUSES (6.05m)	6.05m	

LEGEND:

- ▲ EXTERIOR DOOR LOCATION (L= No. OF RISERS)
- SIDE WINDOW LOCATION
- DEPRESSIONED CURB (SEE ENGINEERING DRAWINGS)
- ACCESSIBLE PARKING SPACE (SEE TRAFFIC CONTROL PLAN)
- VISITORS PARKING SPACE SIGN (SEE TRAFFIC CONTROL PLAN)
- MULTIPLE UNIT IDENTIFICATION SIGN (SEE LANDSCAPE PLAN)
- MANHOLE COVER
- WATER SERVICE
- SLUMP PUMP DISCHARGE
- SAN DBL. SAN CONNECTION
- SAN SINGL. SAN CONNECTION
- STM SINGL. STM CONNECTION
- G GAS METER
- H HYDRO-ELECTRIC METER
- P HYDRO PEDESTAL ON CONCRETE BASE
- DECORATIVE PAVING
- SNOW STORAGE AREA
- COMMON ELEMENT
- EXCLUSIVE USE
- SITE BOUNDARY
- 26 LEGAL LOT NUMBER CROSS REFERENCE TO SITING ANALYSIS
- (UNIT 15) MUNICIPAL UNIT NUMBERS
- 1.2m METAL FENCE (SEE LANDSCAPE PLAN)
- CROSSBUCK FENCE (SEE LANDSCAPE PLAN)
- TRANSFORMER
- LP LIGHT POLE
- H HYDRANT
- REV REVERSE PLAN
- MAILBOX (NOT TO SCALE)
- ROGERS PEDESTAL
- ROGERS VAULT
- BELL PEDESTAL
- CB CATCH BASIN



NO.	DESCRIPTION	DATE	STATUS
11	SPA 3RD SUBMISSION COMMENTS APPLIED	2020.02.24	JS
10	ISSUED FOR SPA 1ST SUBMISSION	2020.01.20	JS
9	ENGINEER COMMENTS APPLIED	2020.01.20	JS
8	ISSUED FOR ENGINEER/GRADING REVIEW	2019.12.05	JS
7	TOWN/REGIONAL COMMENTS APPLIED	2019.12.05	JS
6	ISSUED FOR SPA (2ND SUBMISSION)	2019.10.09	JS
5	ISSUED FOR CONSULTANT COORDINATION	2019.09.03	JS
4	SPA 1ST SUBMISSION COMMENTS APPLIED	2019.09.03	JS
3	ISSUED FOR SPA 1ST SUBMISSION	2019.08.17	JS
2	ISSUED FOR CLIENT REVIEW	2019.06.04	JS
1	ISSUED FOR FUS CALCULATIONS	2019.05.28	JS

Issued / Revision Chart

MARTIN EAST
BLOCK 258
REAR-LANE CONDOMINIUM TOWNHOUSES

MILTON, ON.

Mattamy Homes

Project No. 17044
Scale 1:300
Drawn By RS
Checked By JS

SITE PLAN BLOCK 258

SP-14/19

SP.1