

# THE CORPORATION OF THE TOWN OF MILTON

## BY-LAW NO. 081-2020

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE *PLANNING ACT* IN RESPECT OF ALL LANDS WITHIN THE TOWN OF MILTON, REGIONAL MUNICIPALITY OF HALTON (TOWN FILE: Z-03/20)

**WHEREAS** the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended;

**AND WHEREAS** the Town of Milton Official Plan will provide for the lands affected by this by-law to be zoned as set forth in this By-law upon the approval of OPA No. 60;

**NOW THEREFORE** the Council of the Corporation of the Town of Milton hereby enacts as follows:

**1.0 THAT** Schedule 'A' to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing the existing Residential Low Density (RLD) zone symbol to a Residential Low Density I (RLD1) zone symbol; the Residential Low Density - site specific RLD\*1 zone symbol to a Residential Low Density I - site specific RLD1\*1 zone symbol; the Residential Low Density - site specific RLD\*22 zone symbol to a Residential Low Density I - site specific RLD1\*22 zone symbol; the Residential Low Density - site specific RLD\*50 zone symbol to a Residential Low Density I - site specific RLD1\*50 zone symbol, and the Residential Low Density - site specific RLD\*256 zone symbol to a Residential Low Density I - site specific RLD1\*256 zone symbol on the lands shown on Schedule A attached hereto.

**2.0 THAT** Section 1.11 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding the following provisions as follows:

### **1.11 TRANSITION MATTERS**

#### **1.11.1 Transition Matters General**

i) Subject to Section 1.1 and except as provided in transition Clauses 1.11.1 to 1.11.4, the provisions of this By-law will otherwise apply.

#### **1.11.2 Transition: Site Plan Approval and Building Permit Applications**

i) Nothing in this By-law shall prevent the erection or *use* of a *building* or *structure* for a development for which a complete application for site plan approval and/or building permit was filed on or prior to the date of passage of By-law NO. 081-2020, if the development in question complies or the *building* permit application for the development is amended to comply, with the provisions of Comprehensive Zoning By-law 016-2014, as amended, as it read on the date of passage of By-law NO. 081-2020.

### **1.11.3 Transition: Minor Variance Applications**

i) Nothing in this By-law shall prevent the issuance of a building permit or site plan approval in accordance with both Comprehensive Zoning By-law 016-2014, as amended, as it read on the date of passage of By-law NO. 081-2020 and a related minor variance that was granted approval by the Town of Milton Committee of Adjustment or the Local Planning Appeal Tribunal, under Comprehensive Zoning By-law 016-2014, as amended, as it read on the date of passage of By-law NO. 081-2020, so long as the complete application for the building permit has been filed by the date of compliance with the conditions pursuant to the decision of the Town of Milton Committee of Adjustment or the decision of the Local Planning Appeal Tribunal.

ii) Notwithstanding the provisions of Section 1.11.2 i), an application for minor variance associated with a complete application for site plan approval and/or building permit that was filed prior to the date of the passage of By-law NO. 081-2020, can still be made under the provisions of Comprehensive Zoning By-law 16-2014, as amended, as it read on the date of passage of By-law NO. 081-2020.

### **1.11.4 Transition Clause Duration**

i) Transition Clause Application

Nothing in this By-law applies so as to continue the application of Sections 1.11.1 to 1.11.3 beyond the issuance of the building permit and/or site plan approval upon which the exemptions are founded.

ii) Transition Clause Duration

In no case do the exemptions mentioned in Clauses 1.11.1 to 1.11.3 continue beyond the repeal of this transition section.

### **1.11.5 Sunset Clause Relating to Transition Matters**

i) Sections 1.11.1 to 1.11.5 are repealed two years from the date of enactment of By-law NO. 081-2020.

**3.0** THAT Section 2.1 i) of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding the following zone and associated zone symbol to the Residential Zones column:

- Low Density Residential I Zone (RLD1).

**4.0** THAT Section 2.5 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by deleting Table 2A, and replacing it with the following:

**TABLE 2A**

STREET NUMBER	STREET NAME	ZONE	STREET NUMBER	STREET NAME	ZONE
<b>C</b>			72	MAIDEN LANE	RLD1
36	COMMERCIAL ST	RLD1	77	MAIDEN LANE	RLD1
37	COMMERCIAL ST	RLD1	78	MAIDEN LANE	RLD1
39	COMMERCIAL ST	RLD1	79	MAIDEN LANE	RLD1
46	COMMERCIAL ST	RLD1	80	MAIDEN LANE	RLD1
52	COMMERCIAL ST	RLD1	83	MAIDEN LANE	RLD1
55	COMMERCIAL ST	RLD1	85	MAIDEN LANE	RLD1
69	COMMERCIAL ST	RLD1	94	MAIDEN LANE	RLD1
72	COMMERCIAL ST	RLD1	96	MAIDEN LANE	RLD1
75	COMMERCIAL ST	RLD1	98	MAIDEN LANE	RLD1
78	COMMERCIAL ST	RLD1	640	MARTIN STREET	C5
79	COMMERCIAL ST	RLD1	315	MOUNTAIN VIEW DR	RLD
86	COMMERCIAL ST	RLD1	321	MOUNTAIN VIEW DR	RLD
87	COMMERCIAL ST	RLD1	322	MOUNTAIN VIEW DR	RLD
95	COMMERCIAL ST	RLD1*279	328	MOUNTAIN VIEW DR	RLD
96	COMMERCIAL ST	RLD1*279	329	MOUNTAIN VIEW DR	RLD
98	COMMERCIAL ST	RLD1*279	332	MOUNTAIN VIEW DR	RLD
99	COMMERCIAL ST	RLD1*279	<b>O</b>		
104	COMMERCIAL ST	RLD1*279	297	OAK ST	RLD1
106	COMMERCIAL ST	RLD1*279	<b>P</b>		
107	COMMERCIAL ST	RLD1*279	246	PEARL ST	RLD1
111	COMMERCIAL ST	RLD1*279	256	PEARL ST	RLD1
123	COMMERCIAL ST	RLD1*279	251	PINE ST	RLD1
127	COMMERCIAL ST	RLD1*279	256	PINE ST	RLD1
<b>F</b>			262	PINE ST	RLD1
34	FULTON ST	RLD1	272	PINE ST	RLD1
50	FULTON ST	RLD1	290	PINE ST	RLD1
56	FULTON ST	RLD1	296	PINE ST	RLD1
79	FULTON ST	RLD1	310	PINE ST	RLD1
80	FULTON ST	RLD1	320	PINE ST	RLD1
84	FULTON ST	RLD1	326	PINE ST	RLD1
<b>H</b>			330	PINE ST	RLD1
345	HIGHSIDE DR	RLD	<b>R</b>		
<b>K</b>			187	RIVERPLACE CRES	RLD
344	KINGSLEIGH CRT	RLD	194	RIVERPLACE CRES	RLD
348	KINGSLEIGH CRT	RLD	198	RIVERPLACE CRES	RLD
352	KINGSLEIGH CRT	RLD	202	RIVERPLACE CRES	RLD
356	KINGSLEIGH CRT	RLD	203	RIVERPLACE CRES	RLD
360	KINGSLEIGH CRT	RLD	208	RIVERPLACE CRES	RLD
364	KINGSLEIGH CRT	RLD	214	RIVERPLACE CRES	RLD
368	KINGSLEIGH CRT	RLD	219	RIVERPLACE CRES	RLD
376	KINGSLEIGH CRT	RLD	220	RIVERPLACE CRES	RLD
342	KINGSWAY PLACE	RLD	223	RIVERPLACE CRES	RLD
345	KINGSWAY PLACE	RLD	224	RIVERPLACE CRES	RLD
346	KINGSWAY PLACE	RLD	228	RIVERPLACE CRES	RLD
350	KINGSWAY PLACE	RLD	232	RIVERPLACE CRES	RLD
351	KINGSWAY PLACE	RLD	233	RIVERPLACE CRES	RLD
354	KINGSWAY PLACE	RLD	<b>W</b>		
358	KINGSWAY PLACE	RLD	292	WOODWARD AVE	RLD1*280
359	KINGSWAY PLACE	RLD	315	WOODWARD AVE	RLD
<b>M</b>			316	WOODWARD AVE	RLD
66	MAIDEN LANE	RLD1			
68	MAIDEN LANE	RLD1			
71	MAIDEN LANE	RLD1			

5.0 THAT Section 3 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding a definition for Building Front Wall as follows:

**BUILDING FRONT WALL**

Means the outside wall of a *building* or *structure* that faces the *front lot line*, but does not include any *porch* / *veranda*.

6.0 THAT Section 3 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding a definition for Deck Line as follows:

**DECK LINE**

Means the horizontal line at which the roof pitch transitions.

7.0 THAT Section 4.2.1 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by modifying Table 4A as follows:

- The heading 'RLD' is replaced by the heading 'RLD, RLD1'.

8.0 THAT Section 4.3.1 i) of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by modifying Table 4D as follows:

- 'RLD1' is added to the list of zones in the table.

9.0 THAT Sections 5.6.2 ii), iv) a), and iv) b) of Comprehensive Zoning By-law 016-2014, as amended is hereby further amended as follows:

- 'RLD1' is added between 'RLD' and 'RMD1'.

10.0 THAT Section 6.1 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by modifying Table 6A as follows:

- One new zone RLD1 is added; and
- A bullet point (•) is added to the table under the column 'RLD1' in the rows containing 'Dwelling, Detached', 'Dwelling, Duplex', 'Dwelling, Semi-detached', 'Shared Housing', 'Home Day Care' and 'Home Occupation'.

11.0 THAT Section 6.2 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by deleting Table 6B, and replacing it with the following:

**TABLE 6B**

Regulations	ZONES					
	RLD			RLD1		
	Residential Low Density			Residential Low Density I		
	Dwelling Type			Dwelling Type		
	Detached Dwelling / Duplex Dwelling	Semi-detached Dwelling		Detached Dwelling / Duplex Dwelling (*6)	Semi-detached Dwelling (*6)	
Corner Lot		Interior Lot	Corner Lot		Interior Lot	
<b>Lot Frontage</b> (Minimum)	15.0m	11.4m / unit	10.0m / unit	15.0m	11.4m / unit	10.0m / unit
<b>Lot Depth</b> (Minimum)	30m	30m	30m	30m	30m	30m
<b>Lot Area</b> (Minimum)	N/A	N/A	N/A	N/A	N/A	N/A
<b>Lot Coverage</b> (Maximum)	See Footnote (*1)	See Footnote (*1)	See Footnote (*1)	See Footnote (*1)	See Footnote (*1)	See Footnote (*1)
<b>Front Yard Setback</b> (Minimum)	4.0m	4.0m	4.0m	4.0m	4.0m	4.0m
<b>Interior Side Yard Setback</b> (Minimum)	1.2m	1.2m	1.2m	See Footnote (*2) (*3)	See Footnote (*2) (*3)	See Footnote (*2) (*3)
<b>Exterior Side Yard Setback</b> (Minimum)	4.0m (*4)	4.0m (*4)	N/A	4.0m (*4)	4.0m (*4)	N/A
<b>Rear Yard Setback</b> (Minimum)	7.5m	7.5m	7.5m	7.5m	7.5m	7.5m
<b>Building Height</b> (Maximum)	11m	11m	11m	See Footnote (*5)	See Footnote (*5)	See Footnote (*5)
<b>Landscaped Open Space</b> (Minimum)	30%	30%	30%	30%	30%	30%

Footnote(s) for Table 6B

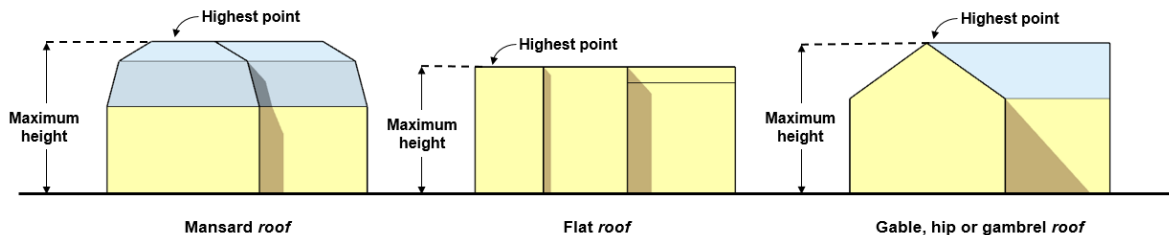
(\*1) See Table 6B ( I ) below for maximum permitted *lot coverage*.

Table 6B (I)

Lot Area	Maximum Lot Coverage
Less than 660 m <sup>2</sup>	30%
660 - 830 m <sup>2</sup>	25%
Greater than 830 m <sup>2</sup>	20%

- (\*2) Minimum *interior side yard*:  
 With attached *garage* or *carport*.
- i) 1.2m for one-storey *dwelling*s and 1.8m for two-storey *dwelling*s, where the *lot frontage* is less than 15m.
  - ii) 1.8m, where the *lot frontage* is equal to, or greater than, 15m but less than 25m.
  - iii) 3.0m, where the *lot frontage* is equal to, or greater than, 25m but less than 30m.
  - iv) 5.0m, where the *lot frontage* is equal to, or greater than, 30m.
- (\*3) Notwithstanding the provisions of (\*2) to the contrary, where no *garage* or *carport* is attached to the *dwelling*, the *interior side yard* closest to the *driveway* shall be a minimum of:
- i) 3.5m, where the *lot frontage* is less than 30m.
  - ii) 5.0m, where the *lot frontage* is equal to, or greater than, 30m.
- (\*4) The minimum required *exterior side yard* is 2.0m if the *yard abuts* a public right-of-way less than 18.0m wide.
- (\*5) Notwithstanding any provisions of the By-law to the contrary, the maximum building height shall be:
- i) 8.0m in the case of a flat *roof*, measured from the *established grade* to the uppermost point of the *roof* surface or parapet, whichever is greater.
  - ii) 9.5m in the case of a gable, hip, gambrel or mansard *roof*, measured from the *established grade* to the uppermost point of the *roof* surface.

#### ILLUSTRATION OF BUILDING HEIGHT IN THE RLD1 ZONE



#### NOTE:

The above illustration is for clarification and convenience only and does not form part of this By-law.

- (\*6) Shall be subject to the provisions of Section 6.3.2 of this By-law.
- 12.0** THAT Section 6.3.1 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by modifying the subtitle “Street Front Treatment of Residential Buildings” as follows:
- *Street Front Treatment of Residential Buildings* in the RMD1 zone
- 13.0** THAT Section 6.3 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding a new subsection 6.3.2 as follows, and renumbering the subsequent sections accordingly:

6.3.2 *Street Front Treatment of Residential Buildings in the RLD1 zone*

All residential *buildings* in the RLD1 *zone* must comply with the following *street front* treatment provisions:

- i) The *dwelling face* must be a minimum of 50% of the *building face*.
- ii) In addition to the requirements of Section 4.2.2, the following additional regulations shall apply to *attached* and *detached garages* and *carports*:
  - a. for a *garage* or *carport* where the width of the *garage face* or front of the carport is less than or equal to 3.5m, the *garage face* or front of the *carport* shall be setback a minimum of 3.5m from the *building front wall*.
  - b. for a *garage* or *carport* where the width of the *garage face* or front of the carport is greater than 3.5m, the *garage face* or front of the carport shall be setback a minimum of 5.5m from the *building front wall*.
  - c. The provisions of Subsection 6.3.2.ii) shall not apply to lots with a front yard abutting Maiden Lane.

14.0 THAT Subsections 13.1.1.1, 13.1.1.7, 13.1.1.22, 13.1.1.50, and 13.1.1.256 of Comprehensive Zoning By-law 016-2014, as amended, are hereby further amended as follow:

- The zone ‘RLD’ is replaced by the zone ‘RLD1’.

15.0 THAT Section 13 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding a new Subsection 13.1.1.279, as follows:

13.1.1.279		RLD1	*279
Various properties within mature neighbourhood areas			
Notwithstanding the provisions of Section 6.2 Table 6B to the contrary, the following provisions shall apply:			
i) <b>Zone Standards</b>			
a) Minimum <i>Front Yard</i> : 6.0m			

16.0 THAT Section 13 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding a new Subsection 13.1.1.280, as follows:

13.1.1.280		RLD1	*280
Various properties within mature neighbourhood areas			
Notwithstanding the provisions of Section 6.2 Table 6B to the contrary, the following provisions shall apply:			

<p><b>i) Zone Standards</b>  a) Minimum <i>Front Yard</i>: 6.5m</p>
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17.0 THAT Section 13 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding a new Subsection 13.1.1.281, as follows:

13.1.1.281		RLD1	*281
Various properties within mature neighbourhood areas			
Notwithstanding the provisions of Section 6.2 Table 6B to the contrary, the following provisions shall apply:			
<p><b>ii) Zone Standards</b>  a) Minimum <i>Front Yard</i>: 8.0m</p>			

18.0 THAT Schedule 'D' to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by replacing it with a new Schedule 'D' attached hereto as Schedule B to this by-law.

19.0 THAT Schedule 'F - Mature Neighbourhood Areas', attached hereto as Schedule C to this by-law, is added to Comprehensive Zoning By-law 016-2014, as amended.

**PASSED IN OPEN COUNCIL ON OCTOBER 19, 2020.**

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Gordon A. Krantz Mayor

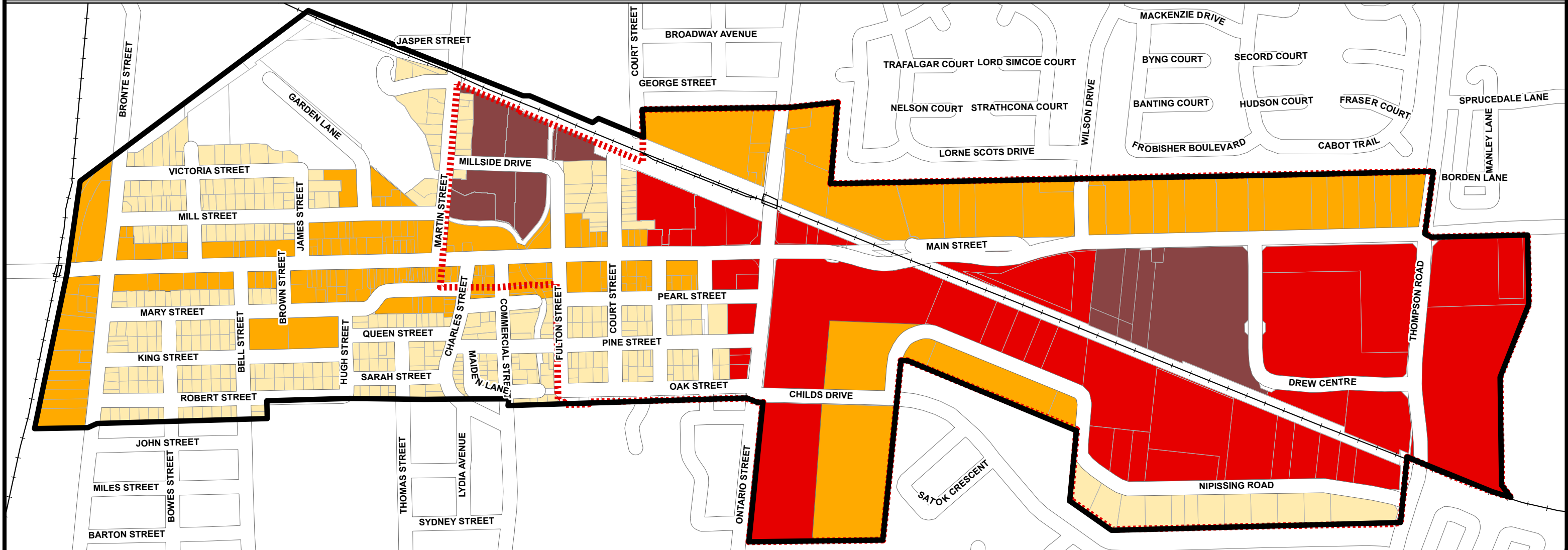
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Meaghen Reid Deputy Clerk





SCHEDULE B  
TO BY-LAW NO. 081-2020  
TOWN OF MILTON

**SCHEDULE D**  
**Central Business District - Building Heights**




**Town of Milton**  
**Zoning By-law 016-2014**  
**(HUSP Urban Area)**

Date: October 19, 2020

THIS IS SCHEDULE B  
TO BY-LAW NO. 081-2020 PASSED  
THIS 19 DAY OF OCTOBER, 2020.

MAYOR - Gordon A. Krantz


DEPUTY CLERK - Meaghen Reid

 Max 2 Storeys; height in accordance with the provisions of Table 6B

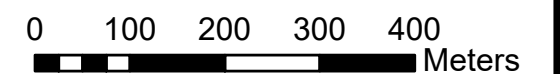
 Min 3 Storeys and 10.5m  
Max 4 Storeys and 16.5m

 Min 6 Storeys and 19.5m  
Max 8 Storeys and 29m

 Min 10 Storeys and 31.5m  
Max 14 Storeys and 42m

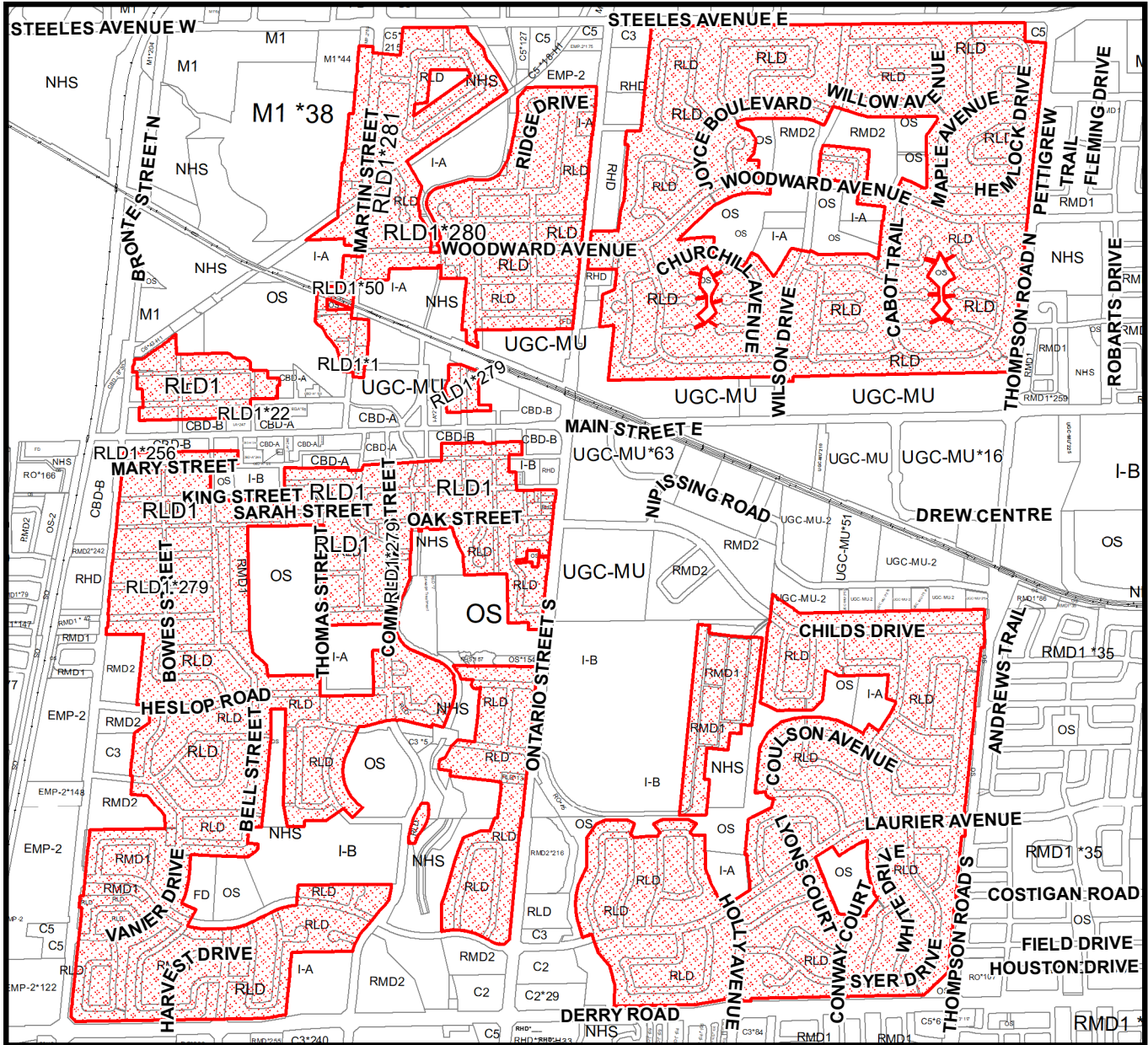
 Central Business District

 Urban Growth Centre



# SCHEDULE C TO BY-LAW NO. 081-2020 TOWN OF MILTON

Mature Neighborhood Areas  
Town of Milton, Regional Municipality of Halton



THIS IS SCHEDULE C  
TO BY-LAW NO. 081-2020 PASSED  
THIS 19 DAY OF OCTOBER, 2020.



Mature Neighbourhood Area Overlay



MAYOR - Gordon A. Krantz

DEPUTY CLERK - Meaghen Reid