



The Corporation of the Town of Milton

Report To:	Council
From:	Barbara Koopmans, Commissioner, Development Services
Date:	September 21, 2020
Report No:	DS-036-20
Subject:	Public Meeting and Initial Report - Official Plan Amendment and Zoning By-law Amendment by 2689319 Ontario Corporation for lands located at 79 Martin Street (Town Files: LOPA-03/20 and Z-06/20).
Recommendation:	THAT Development Services Report DS-036-20, BE RECEIVED FOR INFORMATION.

EXECUTIVE SUMMARY

The applicant is seeking amendments to the Town of Milton Official Plan and Zoning By-law 016-2014, as amended, to permit limited office uses (a law office), in addition to the permitted residential uses, within the existing heritage dwelling located at 79 Martin Street. No internal or external alterations to the existing dwelling or the former carriage house are proposed. Development on the site will be limited to the construction of an 8-space curbed asphalt parking area to be located on the south side of the dwelling, the construction of an accessible ramp to be located to the rear of the dwelling, and associated landscaping.

The application is complete pursuant to the requirements of the Planning Act and is being processed accordingly. Upon completion of the consultation and review process, a technical report, including recommendations, will be brought forward for consideration by Council. The technical report will address issues raised through the consultation and review process.

REPORT

Background

Owner: 2689319 Ontario Corporation (Dino Mazzorato), 79 Martin Street, Milton, Ontario

Applicant: Jansen Consulting, 70 Main Street North, P.O. Box 38, Campbellville, Ontario

Location/Description

The subject property is located on the east side of Martin Street, north of Millside Drive and is approximately 0.136 hectares in size. The lands are legally described as Part of Lot 14, Concession 2, New Survey, Former Geographic Township of Trafalgar, Town of Milton, and municipally known as 79 Martin Street. The location of the property is illustrated in Figure 1 attached to this report.

The subject property is located within the Central Business District Secondary Plan Area and falls within the Urban Growth Centre boundary, the Downtown Character Area boundary, as well as the Downtown Regulatory Flood Plain boundary. The subject property contains a 3-storey, brick single detached dwelling built in 1892 as well as a former carriage house and is listed on the Town's Heritage Register.

The subject property is located within a mature neighbourhood that contains a number of large, historic, single detached dwellings on large lots. Some of the dwellings in this area are still being used for residential purposes, and others have been converted over the years to include office uses along Martin Street. Higher density residential apartment buildings are located to the rear of the property, on both the north and south sides of Millside Drive. The Mill Pond, which is classified as a Provincially Significant Wetland (PSW) is located to the rear of the dwellings on the opposite side of Martin Street.

Proposal

The applicant is seeking amendments to the Town of Milton Official Plan and Zoning By-law to permit office uses (a law office), in addition to the permitted residential uses, within the existing heritage dwelling. The proposed office uses will be limited to 383 m², which represents the total gross floor area of the existing 3-storey heritage dwelling. No internal or external alterations to the existing dwelling or the former carriage house are proposed. However, it should be noted that an accessible ramp will be constructed at the rear of the existing dwelling.

Figure 2 - Conceptual Site Plan and Site Statistics, illustrates that the site will be accessed by the existing entrance to the property, and an 8-space, curbed asphalt parking area, including one accessible parking space, is proposed to be constructed on the south side of the dwelling. One additional parking space is proposed within the former carriage house for a total of 9 parking spaces on the site. Landscaping on the southeast side of the dwelling will be removed to permit the construction of the parking area, and trees along the property line will be replaced with a privacy hedge. Mature trees in other areas of the site, including along the north and east property boundaries will be preserved. Additional landscaping is also proposed along the Martin Street frontage to enhance the aesthetic of the property, and a bicycle parking area is proposed in front of the building. As part of this application, the applicant will also be required to dedicate lands to the Town for the purposes of road right-of-way widening and future road improvements on Martin Street, in accordance with the Town's Official Plan.

The following information has been submitted in support of the Official Plan Amendment and Zoning By-law Amendment applications, and are currently under review:

- Plan of Survey, prepared by Cunningham McConnell Limited, dated July 4, 2019;
- Floor Plans and Elevations (carriage house), prepared by Jansen Consulting, dated December 16, 2019;
- Site Plan and Site Statistics (including grading and drainage information) , prepared by Jansen Consulting, dated July 25, 2019;
- Public Engagement Strategy, prepared by Upper Canada Consultants, dated June 8, 2020;
- Planning Justification Report, prepared by Upper Canada Consultants, dated April 8, 2020;
- Draft Official Plan Amendment, prepared by Upper Canada Consultants, dated April 2020;
- Draft Zoning By-law Amendment, prepared by Upper Canada Consultants, undated;
- Arborist Report and Tree Preservation Plan, prepared by Maple Hill Tree Services, dated April 30. 2020;
- Geotechnical Investigation, prepared by Peto MacCallum Ltd., dated October 10, 2019;
- Site Servicing and Stormwater Management Brief, prepared by Strik Baldinelli Moniz Ltd., dated June 12, 2020;
- Traffic Brief, prepared by C.F. Crozier & Associates Inc., dated July 2020; and,
- Passenger Car Auto Turn Diagram, prepared by C.F. Crozier & Associates Inc., dated December 5, 2019.

Planning Policy

The subject lands are designated “Central Business District” as shown on Schedule B - Urban Area Land Use Plan of the Town of Milton Official Plan. The lands are further designated “Low Density Residential Sub-Area”, and fall within the Downtown Character Area, Downtown Regulatory Flood Plain and the Urban Growth Centre as shown on Schedule C - Central Business District Land Use Plan of the Official Plan.

As outlined in Sections 3.5.1 and 3.5.2 of the Plan, the Central Business District (CBD), composed of the historic downtown and the Urban Growth Centre (UGC) is the focal point of the municipality. The CBD designations permit a variety of commercial, institutional and office uses, and community facilities. The UGC is the primary focus for intensification.

Section 3.5.3.21 (Low Density Residential Sub-Area) permits single detached, semi-detached and duplex dwellings. Any development within this designation shall conform to the Character Area and residential policies of the Plan.

As noted within Section 3.5.3.49 the most substantial portions of Milton's cultural heritage resources are contained within the CBD and therefore, development within the CBD is be consistent with the cultural heritage resource policies of Section 2.10. As noted in Section 3.5.3.10, the Plan encourages the conservation, preservation and adaptive re-use of built heritage resources for compatible residential intensification and/or other appropriate and compatible uses.

The Regulatory Flood Plain boundary within the CBD delineates those lands which are subject to flooding during a Regional Storm event. Provincial policy requires that the One Zone Flood Plain Concept (an approach whereby the entire flood plain, as defined by the regulatory flood is treated as one unit, and all development is prohibited or restricted) apply to all regulatory flood plains in Ontario. Section 3.14.2.1 of the Plan states that any new development, which includes a change in land use, or minor additions within the Regulatory Flood Plain will require a permit from the Halton Region Conservation Authority pursuant to Ontario Regulation 162/06.

While a full review of the applicable planning policies will be undertaken as part of the review of the application, based on the information provided, staff is of the opinion that an Official Plan Amendment is required to permit the additional office uses, in addition to the permitted residential uses, within the existing heritage building.

Attached to this report as Appendix 1 is the Draft Site-Specific Official Plan Amendment.

Zoning By-law

The subject lands are currently zoned Residential Low Density (RLD) under Zoning By-law 016-2014, as amended, which permits single detached, semi-detached and duplex dwellings, as well as supportive housing, home occupations and home day cares within the permitted dwelling units. Since the RLD Zone does not permit office uses, a Zoning By-law Amendment is required.

As per Section 5 of the Zoning By-law, the parking rate applicable to an office use is 1 parking space / 30 m² of gross floor area. At the specified rate, the amount of parking required for the subject proposal is 11.5 parking spaces. The applicant has proposed 9 parking spaces.

The application seeks to amend the current Residential Low Density (RLD) Zone to a site-specific Residential Low Density (RLD*AAA) Zone to permit the proposed office use within the existing residential dwelling. In addition to permitting the use, the site-specific zoning also proposes site-specific provisions required to accommodate the additional use, including a reduction in parking, limitations on the size of the office space (i.e. limited to the gross floor area of the existing building) and clarifying that the provisions applicable to the property will continue to be those of the RLD Zone.



Attached to this report as Appendix 2 is the Draft Site-Specific Zoning By-law Amendment.

As noted previously, development on the subject property is regulated by Conservation Halton (CH) and will require a permit from CH prior to development, as it is located between 30 m and 120 m of a Provincially Significant Wetland (PSW).

Site Plan Control

Should the application be approved, the applicant will be required to receive Site Plan Approval prior to the commencement of any development.

Discussion

Public Consultation

The applicant personally distributed notices to residences and businesses along Martin Street between Main Street East and the CP Railway Line on August 11, 2020. The purpose of the notice was to provide property owners in the immediate vicinity of the subject property with advance notice of the proposal and an opportunity to ask questions prior to a formal public meeting.

Notice for the Public Meeting was provided pursuant to the requirements of the Planning Act on August 27, 2020 via a mail out to all property owners within 200 m of the subject lands and an ad in the Milton Canadian Champion newspaper on August 27, 2020.

Agency Consultation

The application was circulated to internal departments and external agencies on June 24, 2020. Staff have identified the following items to be reviewed and addressed:

- Servicing and Stormwater management;
- Parking;
- Heritage/ Neighbourhood Character Preservation;
- Land Use Compatibility;
- Tree Preservation; and,
- Site-specific zone provisions.

A technical report with recommendations will be brought forward for Council consideration upon completion of the evaluation of the application at a future meeting.

Financial Impact

None arising from this Report.

FIGURE 1 LOCATION MAP



Council Meeting Date:
September 21, 2020

Scale: 1: 1,700

Files: Z-06/20
LOPA-03/20

Development Services Department



Subject Property

PART OF LOT 14
 CONCESSION 2
 GEOGRAPHIC TOWNSHIP OF TRAFALGAR
 TOWN OF MILTON
 REGIONAL MUNICIPALITY OF HALTON

METRIC NOTE:
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

INTEGRATION NOTE:
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS
 (ORP'S) A AND B, UTM ZONE 17, NAD 83 (CSRS) 2010.

COORDINATES ARE UTM ZONE 17, NAD 83 (CSRS) 2010, TO URBAN ACCURACY
 PER SEC. 14 (2) OF REG. 216/10, AND CANNOT, IN THEMSELVES, BE
 USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

ORP	NORTHING	EASTING
A	4818704.870	590037.598
B	4818601.394	590152.714

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
 MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99969870.

EXTERIOR LIGHTING

SEE FLOOR PLANS AND ELEVATIONS FOR LIGHT
 LOCATIONS AND SIZES.
 SEE ATTACHED LIGHT SPEC. MODEL A831-6

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY
 THAT THE LOCAL BENCHMARKS HAVE NOT BEEN ALTERED
 OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND
 DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON
 THIS PLAN.

SURVEY LEGEND

- DENOTES SURVEY MONUMENT FOUND
- SURVEY MONUMENT SET
- SB STANDARD IRON BAR
- SSIB SHORT STANDARD IRON BAR
- IB IRON BAR
- IP IRON PIPE
- WT WITNESS
- 950 CUNNINGHAM MCCONNELL LIMITED
- (N) NO IDENTIFICATION
- (P) PROPERTY IDENTIFIER NUMBER
- CP CONCRETE PIN
- NTS NOT TO SCALE
- B BELOW GROUND LEVEL
- D1 INST. NO. 660863
- D2 INST. NO. H1618738
- P1 PLAN BY F.G. CUNNINGHAM INC. O.L.S. DATED SEPTEMBER 11, 1986
- P2 PLAN BY F.G. CUNNINGHAM INC. O.L.S. DATED JUNE 13, 1994
- P3 PLAN BY F.G. CUNNINGHAM O.L.S. DATED APRIL 29, 1970
- P4 PLAN BY F.G. CUNNINGHAM O.L.S. DATED AUGUST 22, 1979
- P5 PLAN BY F.G. CUNNINGHAM O.L.S. JOB # 74-147
- P6 PLAN 20R-955
- P7 PLAN 20R-10700
- P8 PLAN BY F.G. CUNNINGHAM O.L.S. DATED MARCH 22, 1996
- C1 CALCULATED FROM P4 & P7

- NOTES**
- ALL EXCESS FILL TO BE REMOVED FROM SITE
 - MARTIN STREET TO BE KEPT CLEAN AT ALL TIMES FROM DIRT AND DEBRIS
 - ALL LOCATES TO BE DONE UNDER AND ABOVE GROUND PRIOR TO STARTING CONSTRUCTION

TOWN OF MILTON NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SITE, SNOW FENCE IS INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING, AND THAT THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER, DEVELOPMENT ENGINEERING.
- SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS, AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION
- PRIOR TO THE COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICES DEPARTMENT, TOWN OF MILTON, FOR THE PURPOSES OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND SERVING EXCAVATIONS (ROAD OCCUPANCY PERMIT) WITHIN THE MUNICIPAL ROAD ALLOWANCE.

SP - 0 - 79 MARTIN STREET

DATE : _____ ISSUED FOR APPLICATION

BEFORE DIGGING, UNDERGROUND SERVICES
 SHOULD BE LOCATED ON SITE BY
 THE RESPECTIVE AGENCIES.

ITEM	PROPOSAL	ZONING BY-LAW REQUIREMENTS
A ZONING CATEGORY	RLD - LOT SPECIFIC	N/A
B LOT AREA	1354.20 M ²	N/A
C TOTAL GROSS FLOOR AREA	382.50 M ²	N/A
D LOT COVERAGE	239.97 m ² - 17.72 %	20 %
E PERCENTAGE OF LOT COVERED BY DRIVEWAY, HANDICAP-RAMP AND HARDSURFACES	428.61 M ² - 31.65 %	N/A
F LANDSCAPE OPEN SPACE	GRASS AREA & GARDEN 685.62 M ² - 50.63 %	20% MIN.
G MAXIMUM BUILDING HEIGHT FROM GRADE	M MID PT. OF ROOF	11 M MID PT. OF ROOF
H SIDE YARD SETBACKS INTERIOR	7.82 M	1.2 M
I REAR SETBACK	9.16 M	7.5 M
J FRONT SETBACK	7.56 M	4 M

SBM NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS & SPECIFICATIONS OF THE TOWN OF MILTON & THE CURRENT EDITION OF THE ONTARIO BUILDING CODE
2. SBM LTD. IS NOT RESPONSIBLE FOR THE INFORMATION (EXIST. TOPOGRAPHY, BENCHMARKS, PROPERTY BOUNDARY, ETC.) PROVIDED BY OTHERS
3. SEALED FOR LOT GRADING, SERVICING & STORM WATER MANAGEMENT ONLY REFER TO SITE SERVICING & STORM WATER MANAGEMENT DESIGN BRIEF PREPARED BY SBM, PROVIDED SEPARATELY
4. SBM PROJECT NUMBER 19-2215

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS COMPATIBLE WITH EXISTING DRAINAGE PATTERNS ON & ACROSS THESE LANDS & THE ADJOINING LANDS OR APPLICABLE TOWN BY-LAWS

SBM GRADING NOTES

1. EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED
2. RETAINING WALLS, 1000mm OR GREATER, & GUARD RAILS ON TOP (IF REQUIRED) ARE TO BE DESIGNED BY AND CONSTRUCTED TO THE SPECIFICATIONS OF A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

SBM SERVICING NOTES

1. ALL STORM AND/OR SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF MILTON'S STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. ALL ORGANIC, UNSTABLE OR UNSUITABLE MATERIALS BENEATH THE ROAD ALLOWANCE, SERVICES, UTILITIES, OR FOUNDATIONS MUST BE REMOVED AND THESE AREAS BACKFILLED WITH AN APPROVED FILL MATERIAL, ALL TO THE SATISFACTION OF A GEOTECHNICAL ENGINEER AND SHOULD BE PLACED IN LIFTS NOT EXCEEDING 300mm (LOOSE) THAT ARE COMPACTED TO 95% SPMD (100% FOR PAVED SURFACES), THE FILL MATERIAL SHOULD COMPRISE OF CLEAN, COMPACTIBLE FILL WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT.
3. REMOVE ALL TRENCH WATER WHEN PIPE LAYING IS IN PROGRESS. ALL REQUIREMENTS FOR DEWATERING PERMITS (INCLUDING THE MECP'S PERMIT TO TAKE WATER, IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR.
4. CONNECTIONS FROM FOUNDATIONS, WEeping TILE, SUMP PUMP, AND ROOF DRAINS ARE NOT PERMITTED TO ENTER THE SANITARY SEWER SYSTEM AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE DRAINAGE BY-LAWS
5. ALL PROPOSED STORM SEWER PIPE SHALL BE: PVC SMOOTH WALL (CSA B182.2) (100# TO 600#). ALL SEWER BACKFILL MUST BE COMPACTED TO 95% STANDARD MAXIMUM DRY DENSITY (MINIMUM) (100% FOR PAVED AREAS). 6. THE MINIMUM DEPTH OF THE PIPE AS PER OPSD 3090.101 FOUNDATION, FROST PROTECTION DEPTHS FOR SOUTHERN ONTARIO, WHERE MINIMUM DEPTHS CANNOT BE ACHIEVED AND THEREFORE FROST PROTECTION IS WARRANTED, INSULATION IS REQUIRED.
7. ALL STORM SEWERS/SERVICES AND CATCHBASIN LEADS SHALL HAVE APPROVED RUBBER GASKET JOINTS + BE INSTALLED USING A LASER LEVEL.
8. OWNER'S CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL PRECAST CONCRETE STRUCTURES 9. ALL CATCHBASINS TO HAVE 0.6m SUMP AS PER OPSD 705.010 AND CATCHBASIN MANHOLES 1200# & LARGER TO HAVE 0.3m SUMP AS PER OPSD 701.010. FRAME AND GRATE SHALL BE OPSD 400.020
10. 3.0m LENGTHS OF 150mm DIAMETER PERFORATED FILTER WRAPPED PVC PIPE ARE TO BE INSTALLED AS SUBDRAINS CONNECTED TO TWO SIDES OF EACH CATCHBASIN AND CATCHBASIN MANHOLE WITHIN PAVED AREAS. THE SUBDRAINS ARE TO BE LOCATED JUST BELOW SUBGRADE ELEVATION.
11. MANHOLES TO BE CONSTRUCTED OF PRE-CAST CONCRETE. ALL MANHOLES TO BE INSTALLED IN ACCORDANCE WITH THE ONTARIO PROVINCIAL STANDARDS (OPSD) DIVISION 700 DETAILS AND REQUIREMENTS. SEE LIST OF COMMON DETAILS.
12. INSURE MINIMUM OF 1 ADJUSTMENT UNIT FOR ALL STRUCTURES. MAXIMUM TOTAL ADJUSTMENT UNITS HEIGHT: 300mm.
13. RUNG SPACING IN MANHOLES TO BE 300mm MIN. AND A MAX. OF 450mm DISTANCE BETWEEN THE LID AND THE FIRST RUNG.
14. SEPARATION BETWEEN BURIED WSC & SEWER AS PER MECP GUIDELINES AND SECTION 7.3.5.7. OF THE O.B.C.
15. ALL SUBSTITUTIONS MUST BE APPROVED BY THE CITY ENGINEER.
16. SEWER BEDDING SHALL CONFORM TO OPSD 802.010



TREE NO.	TYPE	STATUS
A	TBD	TO BE RETAINED
B	TBD	TO BE RETAINED - LOT LINE
C	TBD	TO BE RETAINED - LOT LINE
D	TBD	TO BE RETAINED - LOT LINE
E	TBD	TO BE RETAINED
F	TBD	TO BE RETAINED
G	TBD	TO BE RETAINED
H	TBD	TO BE RETAINED
I	TBD	TO BE RETAINED - LOT LINE
J	TBD	TO BE RETAINED - LOT LINE
K	TBD	TO BE RETAINED - LOT LINE
L	TBD	TO BE RETAINED - LOT LINE
M	TBD	TO BE RETAINED - NEIGHBOURS
N	TBD	TO BE REMOVED
O	TBD	TO BE REMOVED
P	TBD	TO BE REMOVED
Q	TBD	TO BE REMOVED
R	TBD	TO BE REMOVED
S	TBD	TO BE REMOVED
T	TBD	TO BE REMOVED
U	TBD	TO BE REMOVED
V	TBD	TO BE REMOVED
W	TBD	TO BE REMOVED
X	TBD	TO BE REMOVED

PRODUCT	SUPPLIER	COLOUR / STYLE
BRICK	EXISTING	RED
SIDEWALKS	EXISTING	CONCRETE
EXTERIOR TRIM DETAILS	EXISTING	WHITE
WINDOWS	EXISTING	WHITE
DOORS	EXISTING	RED
DOORMATS	EXISTING	CHARCOAL
FASCIA & SOFFIT	EXISTING	WHITE
CHAULKING	EXISTING	WHITE
ROOF SHINGLES	EXISTING	GRAY

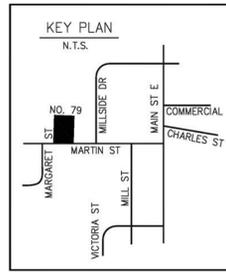
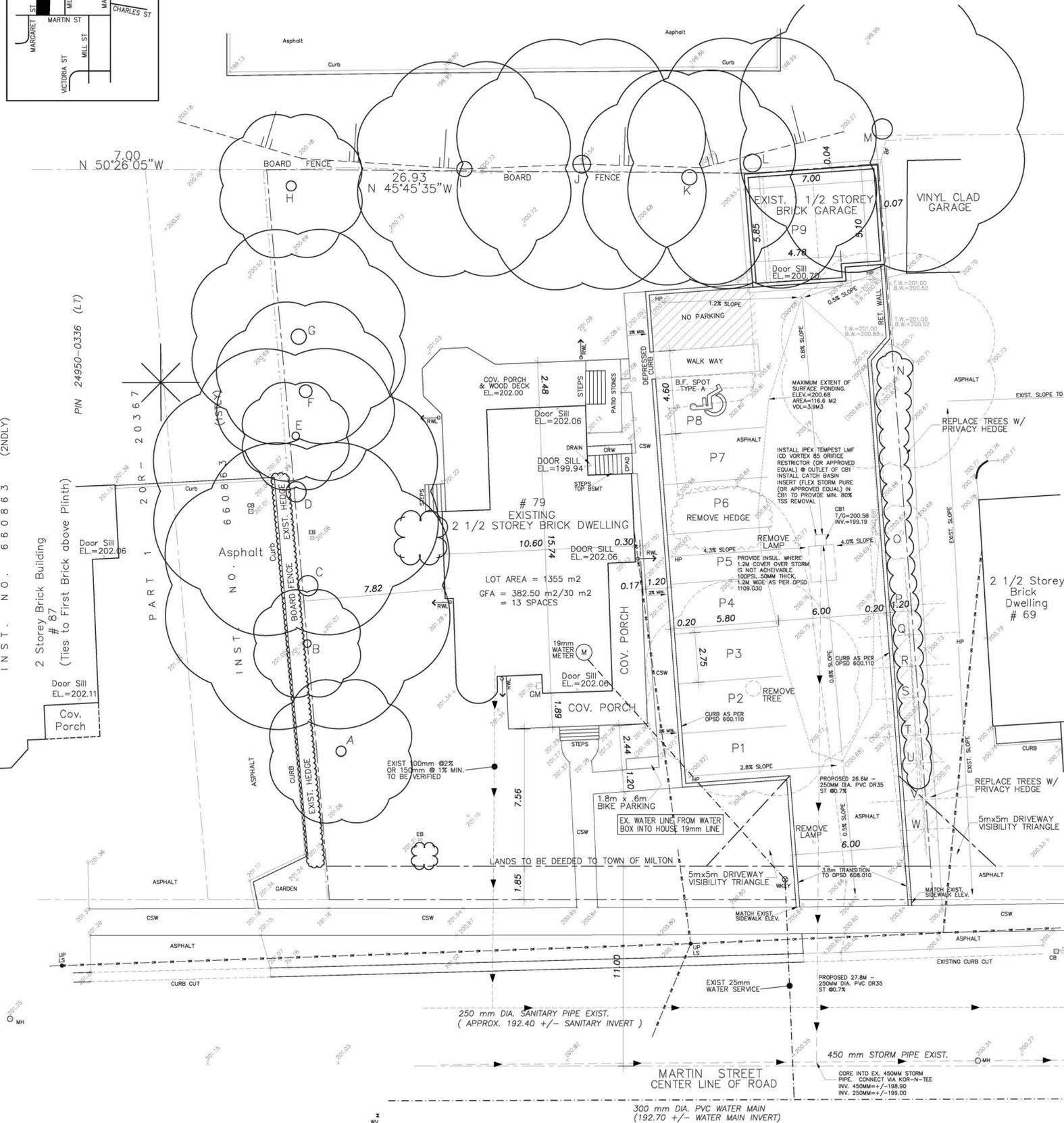


Figure 2 - Conceptual Site Plan



- TOPOGRAPHIC LEGEND**
- AC DENOTES AIR CONDITIONER
 - ▲ DENOTES ANCHOR WIRE
 - △ DENOTES ANTENNA
 - BB DENOTES BELL BOX
 - BBNET DENOTES BASKETBALL NET
 - BMH DENOTES BELL MANHOLE
 - BP DENOTES BOARD FENCE
 - BF DENOTES BOLLARD
 - BH DENOTES BOREHOLE
 - BOB DENOTES BOTTOM OF BANK
 - BMKR DENOTES BELL MARKER
 - CB DENOTES CATCH BASIN
 - CICB DENOTES CURB INLET CATCH BASIN
 - CBMH DENOTES CATCH BASIN MANHOLE
 - CAB DENOTES CABLE BOX
 - CCG DENOTES CONCRETE CURB & GUTTER
 - CCUT DENOTES CURB CUT
 - CLF DENOTES CHAIN LINK FENCE
 - CRW DENOTES CONCRETE RETAINING WALL
 - CPAD DENOTES CONCRETE PAD
 - CSP DENOTES CORRUGATED STEEL PIPE
 - CSW DENOTES CONCRETE SIDEWALK
 - DCB DENOTES DOUBLE CATCH BASIN
 - DICB DENOTES DITCH INLET CATCH BASIN
 - ECB DENOTES ELECTRICAL BOX
 - FH DENOTES FIRE HYDRANT
 - GV DENOTES GAS VALVE
 - GM DENOTES GAS METER
 - GMPR DENOTES GAS MARKER
 - GP DENOTES GUY POLE
 - HP DENOTES HAND HOLE
 - HPH DENOTES HYDRO POLE
 - HT DENOTES HYDRO TRANSFORMER
 - HV DENOTES HYDRO VALVE
 - INV DENOTES INVERT
 - IRR DENOTES IRRIGATION VALVE
 - LS DENOTES LIGHT STANDARD
 - MB DENOTES MAILBOX
 - MDH DENOTES MANHOLE
 - PQCRB DENOTES PARKING CURB
 - PWF DENOTES POST & WIRE FENCE
 - SAN DENOTES SANITARY
 - SBGR DENOTES STEEL BEAM GUIDE RAIL
 - STM DENOTES STORM
 - TC DENOTES TRAFFIC CONTROLLER
 - TL DENOTES TRAFFIC LIGHT
 - TL5 DENOTES TRAFFIC LIGHT WITH STREET LIGHT
 - UP DENOTES UTILITY POLE
 - WKEY DENOTES WATER KEY OR CURB BOX
 - WV DENOTES WATER VALVE
 - WIF DENOTES WROUGHT IRON FENCE
 - WVC DENOTES WATER VALVE CHAMBER
 - DENOTES DECIDUOUS TREE
 - ★ DENOTES CONIFEROUS TREE
 - DENOTES SHRUB
 - DENOTES TOP OF BANK
 - - - DENOTES FENCE LINE
 - - - DENOTES OVERHEAD WIRE
 - ← R.W.L. DENOTES RAIN WATER LEADERS DIRECTION
 - ▶ ENTRY POINTS INTO BUILDING
 - DENOTES UNDERGROUND HYDRO SERVICE
 - DENOTES UNDERGROUND GAS PIPELINE
 - (000.00) PROPOSED GRADE POINTS
 - 000.00 EXISTING GRADE POINTS
 - F.F. FINISHED FLOOR
 - T.F.W. TOP OF FDN WALL
 - U.S.F. UNDER SIDE OF FTG.
 - T.B.S. TOP OF BSMT. SLAB
 - MH DENOTES MANHOLE
 - CB DENOTES SINGLE CATCHBASIN
 - HP DENOTES HYDRO POLE
 - HYD DENOTES FIRE HYDRANT
 - T.M.H DENOTES TELEPHONE MANHOLE
 - W.M.H DENOTES WATER MANHOLE
 - IB DENOTES IRON BAR
 - BOL DENOTES BOLLARD
 - LS DENOTES LIGHT STANDARD
 - LBM DENOTES LOCAL BENCHMARK
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - MEAS DENOTES MEASURED
 - GM DENOTES GAS METER
 - OU DENOTES ORIGIN UNKNOWN
 - HT DENOTES HYDRO TRANSFORMER
 - WK DENOTES WATER KEY
 - OP DENOTES POLE

I, JEFF JANSEN DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSEN CONSULTING UNDER DIVISION C, SUBSECTION 3.2.5 AND 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED SET OUT BY THE O.B.C. QUALIFIED DESIGNER BCIN - 30272 FIRM BCIN - 110042

70 Main Street N., P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9539
 Call 905-815-3438
 EMAIL : jeffjansen@plomet.com

TYPE M-019
 PROJECT 79 MARTIN STREET
 LOCATION MILTON

OWNERS INFORMATION
 79 MARTIN ST
 MILTON, ONTARIO

NO.	DATE	DESCRIPTION

SCALE	DATE	PROJECT NO.
N25	JULY 25-19	2019-019
DRAWN BY	CHECKED BY	DRAWING NO.
SA	SA	S1

AMENDMENT NUMBER XX
TO THE OFFICIAL PLAN OF THE TOWN OF MILTON

Part of Lot 14, Concession 2, Geographic Township of Trafalgar
79 Martin Street
Town of Milton
(Town File: LOPA-X/20)

DRAFT PREPARED BY
UPPER CANADA PLANNING AND ENGINEERING
APRIL 2020

AMENDMENT NUMBER XX
TO THE OFFICIAL PLAN OF THE TOWN OF MILTON

PART 1 THE PREAMBLE, does not constitute part of this Amendment

**PART 2 THE AMENDMENT, consisting of the following text constitutes
Amendment No. XX
to the Official Plan of the Town of Milton**

DRAFT

PART 1: THE PREAMBLE

THE TITLE

This amendment, being an amendment to the Official Plan of the Town of Milton shall be known as:

Amendment No. XX
To the Official Plan of the Town of Milton

79 Martin Street
(Part of Lot 14, Concession 2, Geographic Township of Trafalgar)

(Town of Milton)

PURPOSE OF THE AMENDMENT

The purpose of this amendment is to add a Specific Policy Area to the lands at 79 Martin Street to permit limited office uses in an existing heritage building on a residential lot that is currently underutilized.

LOCATION OF THE AMENDMENT

The subject property is located on the northeast side of Martin Street between Main Street East and Steeles Avenue East and is approximately 0.1354 ha (0.335 ac) in size. The lands are legally described as Part of Lot 14, Concession 2, Geographic Township of Trafalgar, Town of Milton, Region of Halton and are municipally known as 79 Martin Street. The subject property is located within the Milton Central Business District and is within the Urban Growth Centre.

BASIS OF THE AMENDMENT

Provincial policy sets out a foundation for regulating the development and use of land that will sustain healthy, liveable and safe communities, including accommodating an appropriate range and mix of residential (including second units), employment, institutional, recreation, park and open space, and other uses to meet long term needs. The focus of growth and development, including residential and employment intensification shall be directed to settlement areas where infrastructure and public amenities are available. Residential intensification includes infill development, the development of vacant or underutilized lots within previously developed areas, and the conversion and expansion of existing residential buildings to create new residential units

and/or employment uses. The type and scale of development, which should be more compact, and transition of built form to adjacent areas must also be considered.

The subject lands are located within the Central Business District Area of Milton which is identified as an Urban Growth Centre. In accordance with the Growth Plan, Urban Growth Centres are intended to be focal areas for commercial and employment uses and other uses that support the transit network and investment in public service facilities. The Growth Plan requires that the Milton Urban Growth Centre be planned to achieve a minimum density of 200 residents and jobs combined per hectare.

In addition to the above, the Region's Official Plan also supports directing commercial uses and employment growth to Urban Growth Centres to support investments in the transit network and public service facilities.

Official Plan Amendment No. 31 brought the Town's Official Plan into conformity with Provincial and Regional growth and intensification policies, including those for the Urban Growth Centre and is deemed to be consistent with the Regional Official Plan.

The proposed amendment to permit office uses within the existing heritage building is consistent with current provincial policy and is in keeping with the general intent and objectives of the Regional Plan as it is supported by available infrastructure, public transit, provides increased employment density within the Urban Growth Centre and will preserve the significant cultural heritage resource on site. No exterior modifications to the building are proposed and development on site will be limited to the construction of a small parking area and associated landscaping. The limited development of the property will be sensitive to the adjacent residential neighbourhood uses, and by limiting the amount of office space, this will ensure the site can be intensified in an appropriate manner while continuing to be complementary to the existing character of the adjacent residential area.

PART 2: THE AMENDMENT

All of this document, entitled Part 2: THE AMENDMENT consisting of the following text constitutes Amendment No. X to the Town of Milton Official Plan.

DETAILS OF THE AMENDMENT

The Town of Milton Official Plan is hereby amended by Official Plan Amendment No. XX, pursuant to Sections 17 and 21 of the Planning Act, as amended, as follows:

1.0 Map Change

- 1.1 Amending Schedule I1 – “Urban Area Specific Policy Areas” by adding Specific Policy Area No. XX to lands at 79 Martin Street (Part of Lot 14, Concession 2, Geographic Township of Trafalgar) as shown on Schedule ‘I1’ attached hereto.

2.0 Text Change

- 2.1 Adding the following text to Section 4.11.3 “Specific Policy Areas”:

“4.11.3.XX In addition to the uses permitted in the Low Density Residential Sub-Area, the lands identified as Specific Policy Area No. XX on Schedule I1 of this Plan, being 79 Martin Street, may also be used for a building containing office uses, up to a maximum gross floor area of 383 m².”

TOWN OF MILTON OFFICIAL PLAN

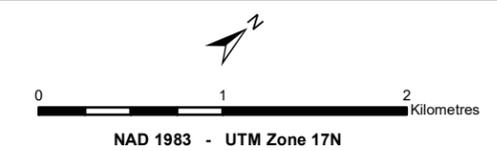
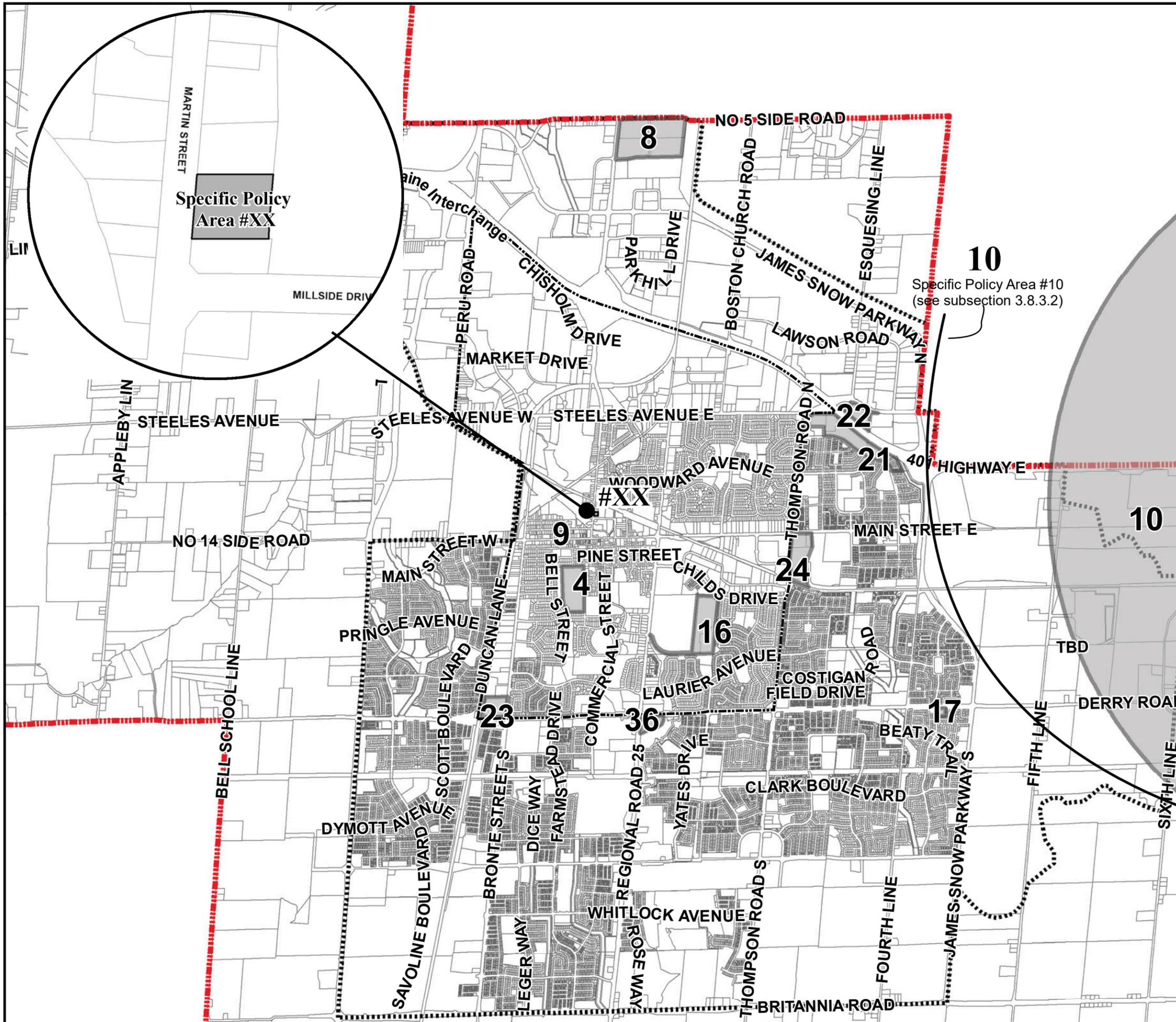
Schedule I1

URBAN AREA SPECIFIC POLICY AREAS

(Refer to sections 4.11 & 3.8.3.2)

Files: LOPA 03/20 & Z 06/20

- TOWN OF MILTON BOUNDARY
- URBAN EXPANSION AREA BOUNDARY
- EXISTING URBAN AREA BOUNDARY
- + RAILWAY
- SPECIFIC POLICY AREA
- XX SPECIFIC POLICY NUMBER



This Schedule Forms Part Of The
Official Plan And Should Be Read
Together With The Text.

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Consolidated August 2008, Edited June, 2019

THE CORPORATION OF THE TOWN OF MILTON

BY-LAW NO. XXX-2020

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT, AS AMENDED, IN RESPECT OF THE LANDS DESCRIBED AS PART OF LOT 14, CONCESSION 2, GEOGRAPHIC TOWNSHIP OF TRAFALGAR, TOWN OF MILTON, REGIONAL MUNICIPALITY OF HALTON AND MUNICIPALLY IDENTIFIED AS 79 MARTIN STREET (FILE Z-06/20)

WHEREAS the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended;

AND WHEREAS the lands affected by this By-law will comply with the Town of Milton Official Plan upon Official Plan Amendment No. XX taking full effect;

NOW THEREFORE the Council of the Corporation of the Town of Milton hereby enacts as follows:

- 1.0** **THAT** Schedule A to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing the existing Residential Low Density (RLD) Zone Symbol to a site-specific Residential Low Density (RLD*AAA) Zone Symbol on the land shown on Schedule A attached hereto.
- 2.0** Section 13.1 of Comprehensive By-law 016-2014, as amended, is hereby further amended by adding Subsection 13.1.1.XX as follows:

Notwithstanding any provisions of the By-law to the contrary, for lands zoned site-specific Residential Low Density (RLD-AAA), the following standards and provisions shall apply:

i) Additional Permitted Uses

- a) *Office building*
- b) *Office uses*

ii) Zone Standards

- a) The regulations found in Section 6.2, Table 6B for a *detached dwelling* shall apply to an *office building*.

iii) Special Site Provisions

- a) The total *gross floor area* for all *office uses*, permitted under Section 13.1.1.XXX shall not exceed 383 square metres.

- b) A minimum of 1 parking space per 47 m² of gross floor area of the office building shall be provided on site.

3.0 THAT pursuant to Section 34(21) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, this by-law comes into effect the day after the last day for filing a notice of appeal, following enactment of Official Plan Amendment X and, if no appeal is filed pursuant to Subsection 34(19) of the *Planning Act*, as amended. Where one or more appeals have been filed under Subsection 34(19) of the said Act, as amended, this Zoning By-law Amendment comes into effect when all such appeals have been withdrawn or finally disposed of in accordance with the direction of the Local Planning Appeal Tribunal.

PASSED IN OPEN COUNCIL ON2020.

Gordon A. Krantz Mayor

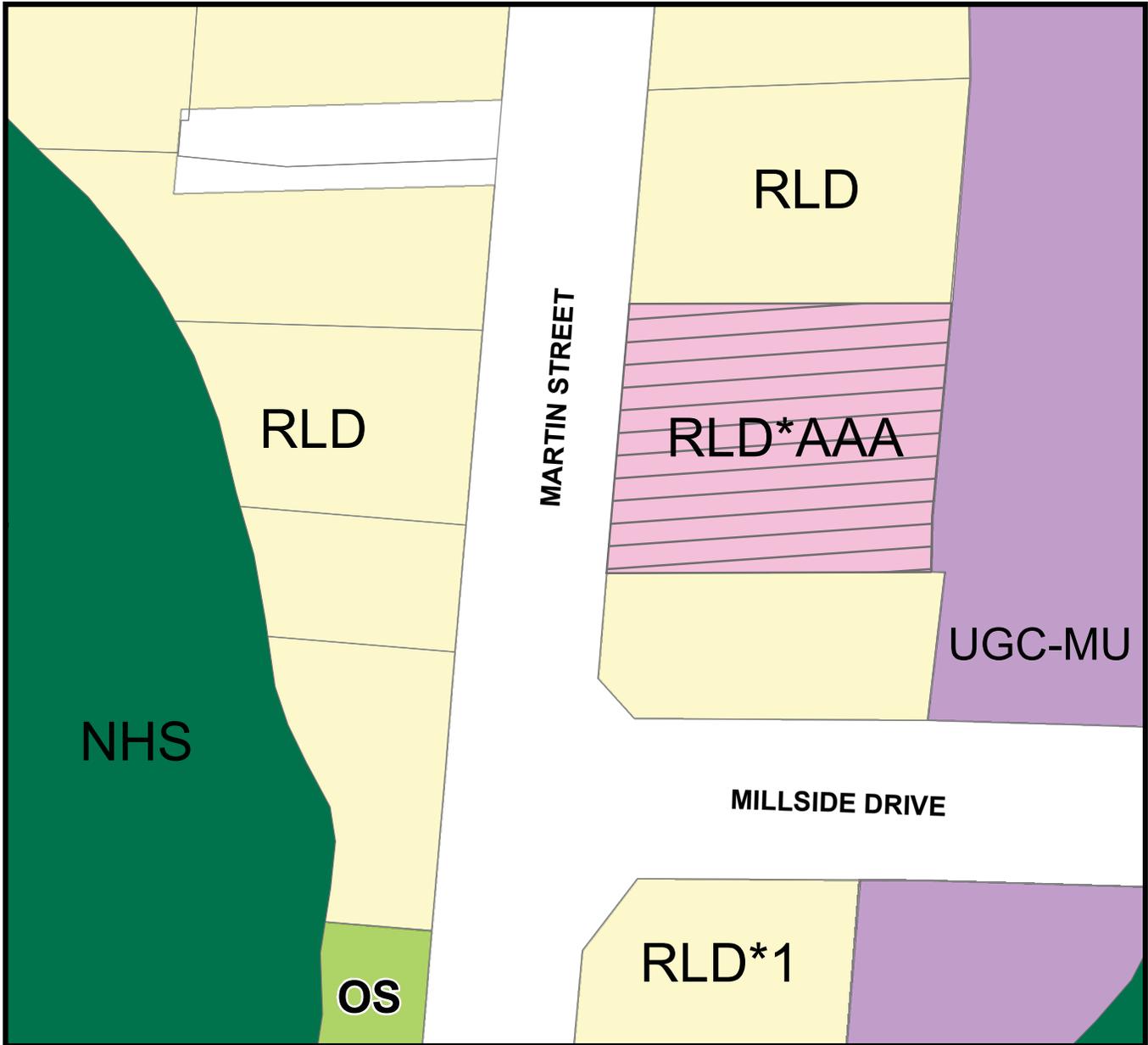
Meaghen Reid Deputy Clerk

DRAFT

SCHEDULE A
 TO BY-LAW No. -2020

TOWN OF MILTON
 PART LOT 14 CONCESSION 2 TRAFALGAR NEW SURVEY
 TOWN OF MILTON

Town of Milton



THIS IS SCHEDULE A
 TO BY-LAW NO. _____ PASSED
 THIS ___ DAY OF _____, 2020.

 MAYOR - Gordon A. Krantz

 DEPUTY CLERK- Meaghen Reid



RLD1 - Medium Density Residential 1 Zone



RLD*AAA - Residential Low Density Site Specific



UGC-MU - Urban Growth Centre Mixed-Use Zone



NHS - Natural Heritage System



OS - Open Space Zone



Z-06/20
 LOPA 03/20