



COMMITTEE OF ADJUSTMENT AND CONSENT

AGENDA

Town Hall West – Council Chambers

Thursday, February 20, 2020 at 7:00 p.m.

I. AGENDA ANNOUNCEMENTS/AMENDMENTS

II. DISCLOSURE OF PECUNIARY INTEREST

III. REQUESTS FOR DEFERRAL OR WITHDRAWAL OF APPLICATIONS

1. File: D13 (A1-20/002/M) 151 Steeles Avenue
2. File: D13 (A2-20/003/M) 693 Robertson Crescent

Deferrals requested and granted to the Applicant.

IV. MINUTES

1. Minutes of Committee of Adjustment Hearing held on January 30, 2020

V. ITEMS FOR CONSIDERATION

Minor Variance Applications

1. File: [D13 \(A2-19/047/M\)](#) 372 Pine Street
Relief is requested from the Zoning By-law for a proposed addition.
2. File: [D13 \(A2-20/001/M\)](#) 62 Miles Street
Relief is required from the Zoning By-law for an existing garage.
3. File: [D13 \(A2-20/004/M\)](#) 717 Childs Drive
Relief is requested from the Zoning By-law for a proposed shed.
4. File: [D13 \(A1-20/005/M\)](#) 7211 Fifth Line
Relief is required from the Zoning By-law for a proposed industrial warehouse building.

VI. ADJOURNMENT

Delegates appearing before the Committee are limited to five minutes.
Extra speaking time is at the discretion of the Committee Chair.



Town of Milton
150 Mary Street
Milton, ON L9T 6Z5

T 905-878-7252
www.milton.ca

Committee of Adjustment & Consent

PUBLIC MEETING NOTICE

TOWN FILE: A2-19/047/M

TAKE NOTICE that pursuant to S.45 of the *Planning Act*, R.S.O. 1990, C.P.13, as amended, this application will be considered by the Milton Committee of Adjustment and Consent **at 7:00 p.m. on Thursday, February 20, 2020** in the **Town of Milton Council Chambers, 2nd Floor, 150 Mary Street, Milton, Ontario** for the public hearing on the following matter:

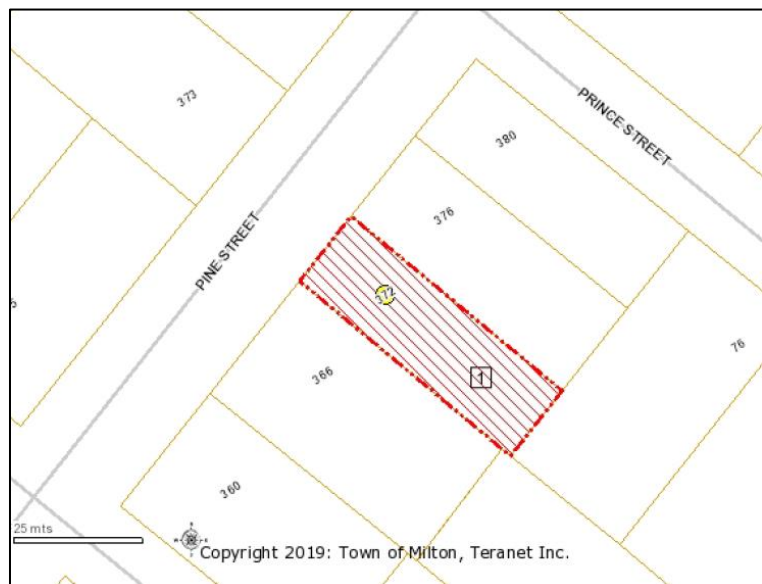
The Owner/Applicant of **372 Pine Street, Milton** is proposing to replace the existing addition at the rear of the dwelling and construct a covered front porch. The application was deferred from last month's meeting to incorporate changes into the design. The following variance to the Zoning By-law is required:

1. Requesting permission to allow an increase in the maximum lot coverage to 33.06% WHEREAS the current by-law states that the maximum lot coverage for lots less than 660 square metres be 30%.

For your reference a key map showing the location of the subject land, together with associated drawings is attached to this Notice.

This notice is being sent to you because you are the applicant, the authorized agent, the property manager of a condominium corporation, or the assessed property owner of property within 60 metres of the subject property, as required by the *Planning Act*.

Should you have comments on the application, you are invited to attend the public hearing to express your views. Alternatively, written submissions will be accepted by the Secretary-Treasurer with respect to this application must be made in writing **NO LATER THAN Monday, February 17, 2020** to the Secretary-



Treasurer. Any written correspondence provided to the Committee Secretary-Treasurer are issued to the Members prior to the Hearing will form part of the public record and will be considered to have been read into evidence at the Hearing. If you wish to be notified of this Decision of the Milton Committee of Adjustment and Consent, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of any future Local Planning Appeal Tribunal proceedings. For more information on this matter, please contact the Committee Secretary as noted below. Additional information regarding this application are available for viewing at the Planning and Development Department between 8:30 a.m. and 4:30 p.m., Monday through Friday.

If you have received this notice and are an owner of a property and said property contains seven (7) or more residential units, the Town of Milton requires that you post this notice in a location that is visible to all the residents.

There are currently no other planning applications under the *Planning Act* applicable to this property.

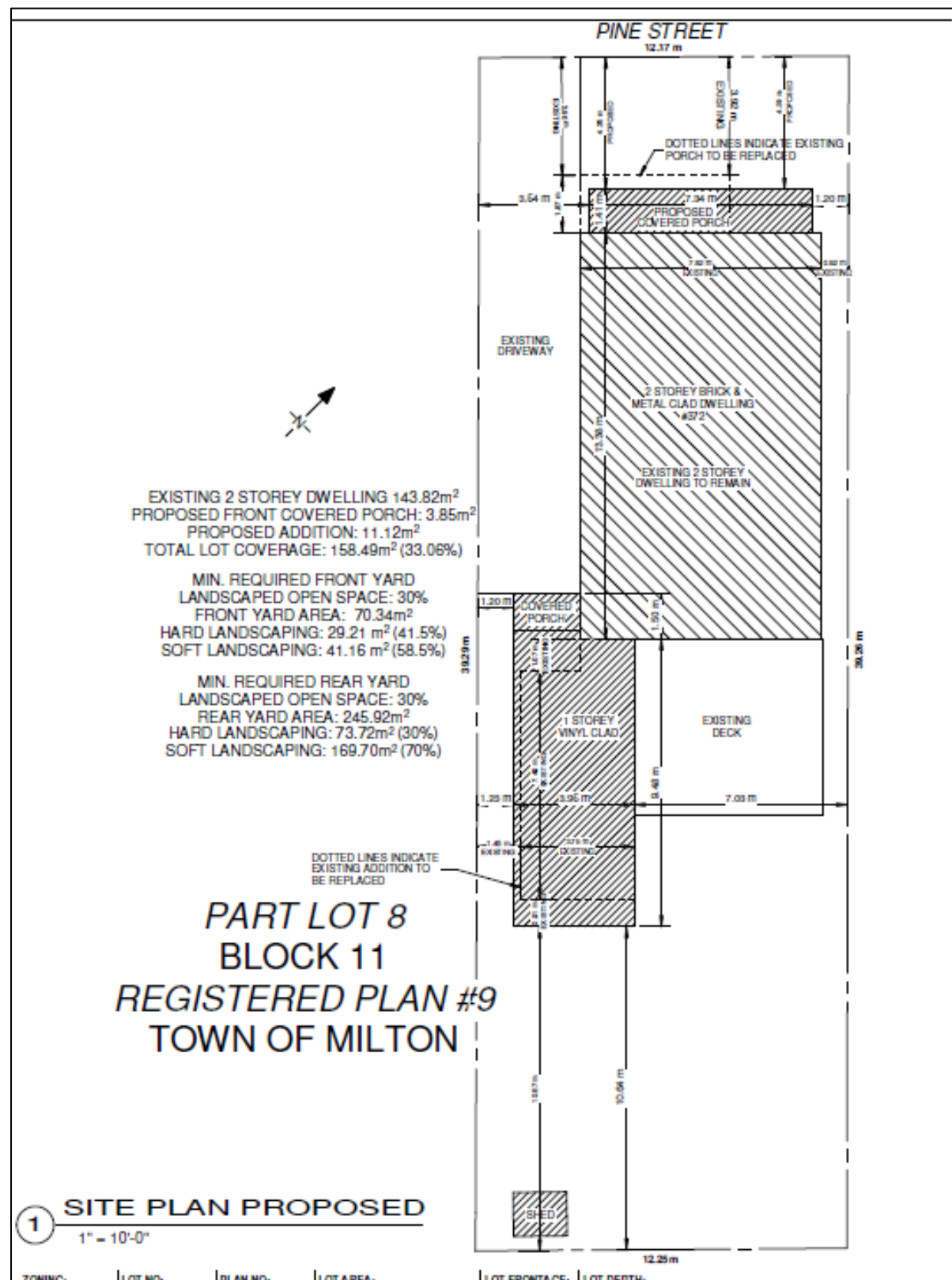
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Deborah Johnson

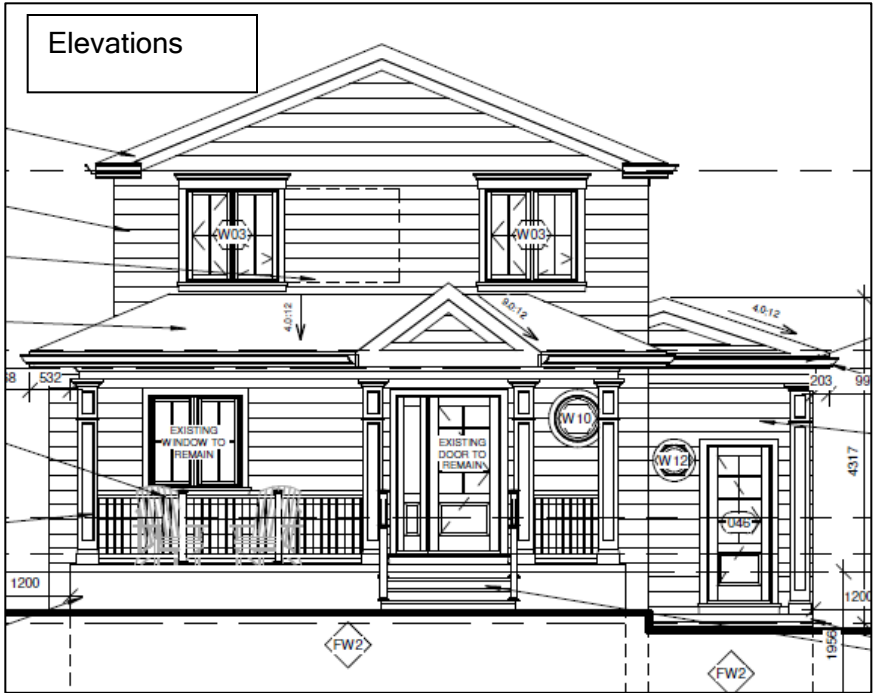
Deborah Johnson, A.C.S.T.
Secretary-Treasurer, Committee of Adjustment and Consent
☎ 905-878-7252, ext. 2215 ✉ debbie.johnson@milton.ca

Date: February 7, 2020

SITE PLAN:



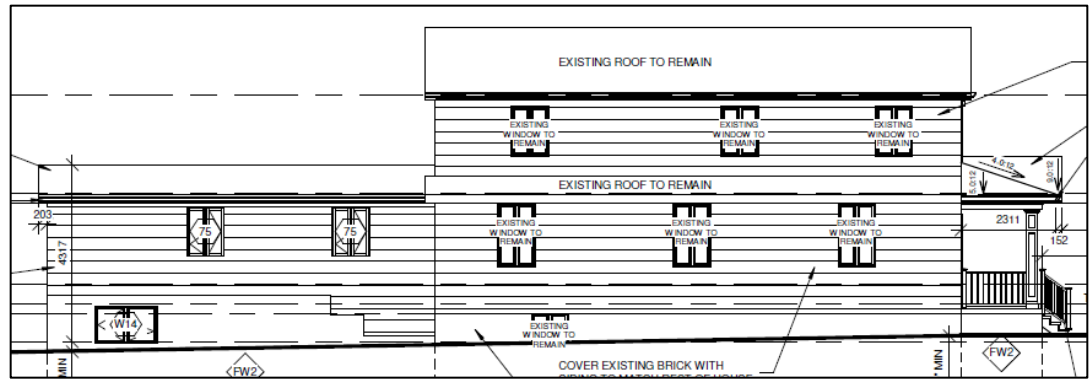
Elevations



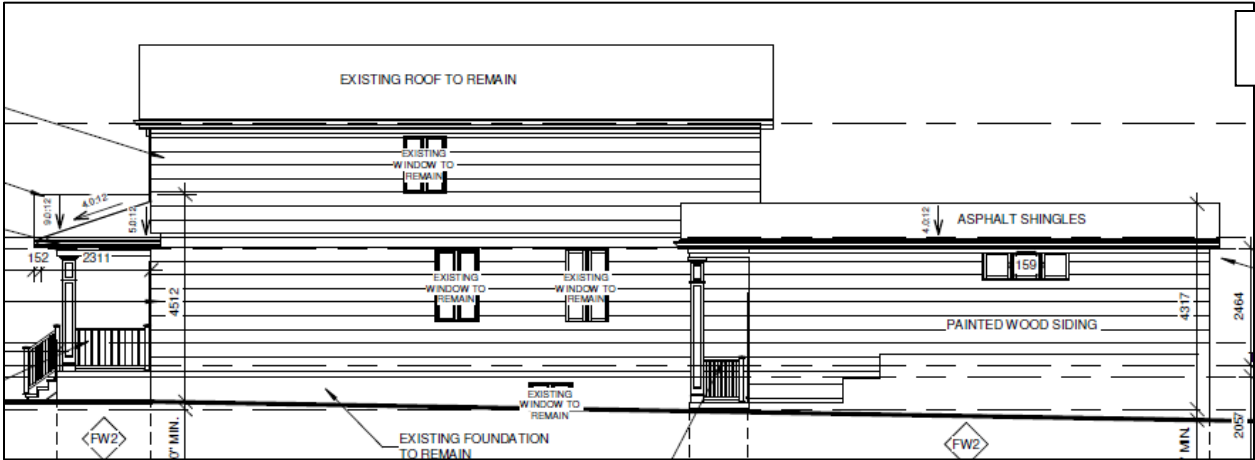
North



South



East



West



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The Owner/Applicant of **62 Miles Street Milton** is proposing to retain the existing garage on the lot. During the site plan application (File: SP-04/17) the existing detached garage drawings provided for review were less than the actual size of the building. As a result, the overall coverage calculation provided was lower than the actual coverage. This lower calculation complied with the Zoning By-law. Subsequently, in conjunction with the building permit application, new drawings were submitted. These new drawings were based on a survey and provided the actual dimensions of the existing detached garage. However, the new drawings excluded certain elements (covered porches) of the proposed dwelling in the lot coverage calculation provided. It was, therefore, not until staff reviewed the actual floor plans that the discrepancy in lot coverage was identified. Therefore the following variance is required to retain the existing garage:

1. Requesting permission to allow an increase in the maximum lot coverage to 26.8% WHEREAS the current by-law states that the maximum lot coverage for lots between 660 square metres and 880 square metres is 25%

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Secretary-Treasurer, Committee of Adjustment and Consent
☎ 905-878-7252, ext. 2215 ✉ debbie.johnson@milton.ca

Date: February 7, 2020



PERSPECTIVE VIEW

Area under construction
Flow
Barrier main run
End run
Area under protection
Direction of flow

SECTION VIEW

Area under protection
Silt fence barrier
Direction of flow

PLAN OF SILT FENCE BARRIER

2m end-run
Stakes
2m max. typ.
Main run
2m end-run

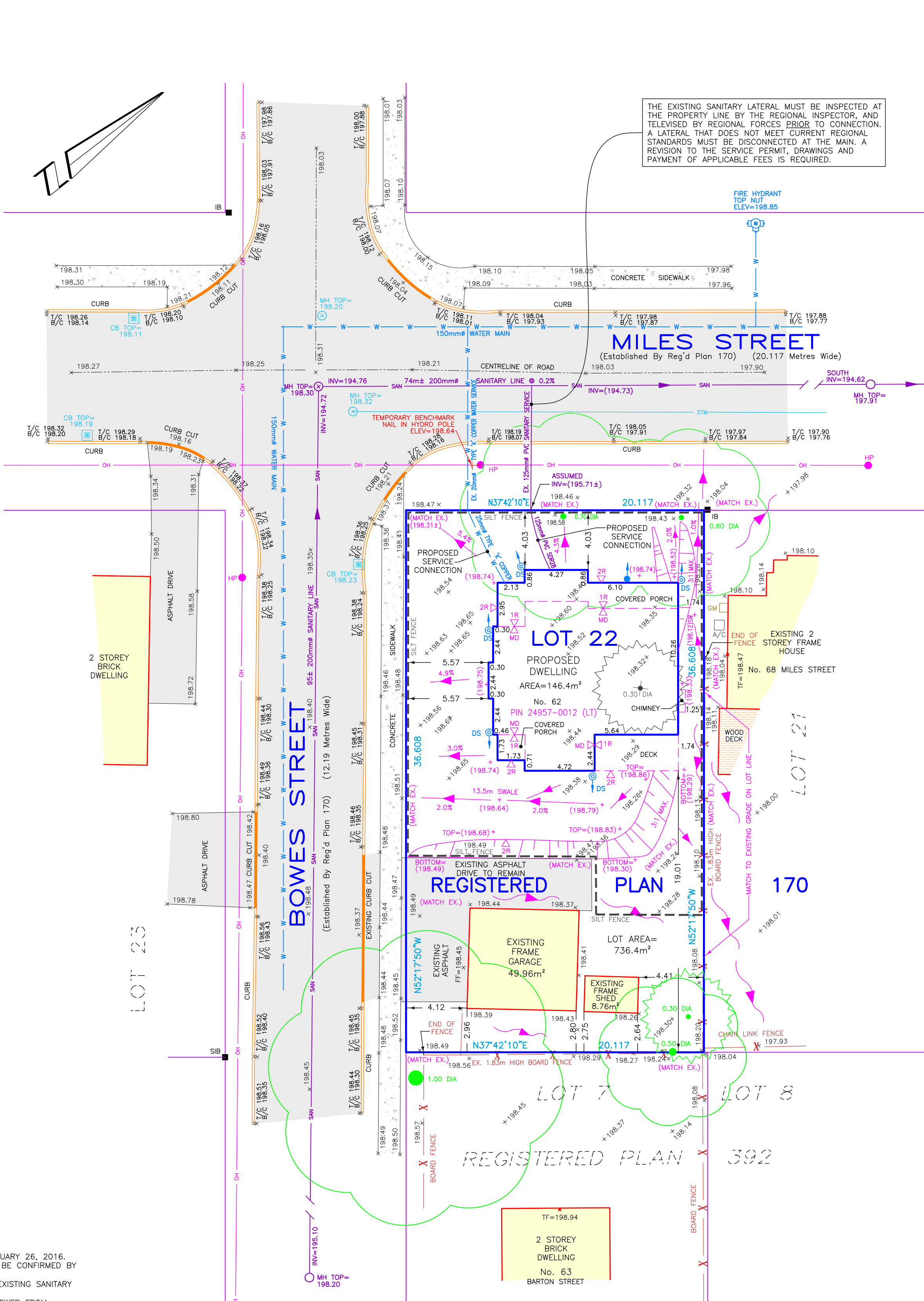
SECTION A-A

Geotextile
Control measure support
Stake
Trench to be backfilled and compacted
Earth surface
Direction of flow
600mm min.
200
300mm min. of geotextile in trench
200
300

NOTE:
A All dimensions are in millimetres or metres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	1996 02 01	Rev	
HEAVY DUTY SILT FENCE BARRIER		Date _____ _____	

OPSD - 219.130



1. TOPOGRAPHIC SURVEY PROVIDED BY VAN HARTEN SURVEYING, COMPLETED FEBRUARY 26, 2016.
2. LOCATION AND ELEVATION OF THE EXISTING SANITARY AND WATER SERVICES TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTING THE PROPOSED DWELLING.
3. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE SUITABILITY TO RE-USE EXISTING SANITARY SERVICE.
4. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF SANITARY SEWER FROM PROPOSED UNDERSIDE OF FOOTING ELEVATION
5. IF GRAVITY FLOW CANNOT BE ACHIEVED FROM THE PROPOSED UNDERSIDE OF FOOTING A SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER O.B.C. AND MUNICIPAL REQUIREMENTS.
6. MATCH TO EXISTING DRAINAGE PATTERN. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL DRAINAGE (EXISTING AND/OR PROPOSED) IS SELF CONTAINED ON THEIR PROPERTY.
7. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE THAT THE GENERAL DRAINAGE PATTERN OF THE LOTS IS MAINTAINED.
8. NO CHANGES ARE PROPOSED TO THE EXISTING DRIVEWAY, GARAGE, SHED OR LOT GRADING AT THE SOUTHWEST END OF THE SUBJECT LOT.
9. ALL DOWNSPOUT DISCHARGE MUST BE DIRECTED TO THE REAR OF THE PROPERTY OR MILES STREET.
10. NO DOWNSPOUT FROM THE PROPOSED DWELLING CAN BE DIRECTED TOWARDS THE PROPERTY OF No. 68 MILES STREET OR THE BOWES STREET SIDEWALK.
11. THE PROPOSED DEVELOPMENT IS TO DIRECT ALL ROOF WATER DRAINAGE FROM THE PROPOSED DWELLING TO THE EXISTING HISTORICAL DRAINAGE PATTERNS AS THEY AFFECT THE ABUTTING PROPERTIES ARE NOT TO BE ALTERED. THERE IS TO BE NO INCREASE IN SURFACE DRAINAGE ONTO THE ABUTTING PROPERTIES.
12. THE BUILDER SHALL COMPLY WITH ALL CURRENT TOWN OF MILTON STANDARDS FOR LOT DRAINAGE AND GRADING AS THEY RELATE TO MAXIMUM AND MINIMUM SLOPES FOR YARDS, SWALES AND DRIVES AND OTHER DRAINANCES.
13. AIR CONDITIONER AND HEAT PUMPS ARE NOT PERMITTED IN THE FRONT YARD. MINIMUM SETBACK TO THE SIDE LOT LINE IS 1.0m
14. ALL WORK WITHIN THE TOWN OF MILTON RIGHT OF WAY TO COMPLETED TO THE SATISFACTION OF THE TOWN OF MILTON.
15. THIS LOT MAY CONTAIN STRUCTURAL OR NON-STRUCTURAL FILL.
16. REFER TO "WATERMAIN & SANITARY SEWER REPLACEMENT ON MILES STREET" DRAWING No. M-2181, CONTRACT No. W5-1387-95.
17. PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SUBJECT SITE, SNOW FENCE IS TO BE INSTALLED ON THE PERIMETER OF THE PROPERTY AND IT SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERSSE DURING THE PROJECT, DIRECTOR, DEVELOPMENT ENGINEERING.
18. SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF THE SITE WORKS AND BE MAINTAINED FOR THE DURATION OF CONSTRUCTION.
19. NO CONSTRUCTION IS TO TAKE PLACE ON ADJACENT PRIVATE PROPERTY WITHOUT WRITTEN PERMISSION FROM THE RESPECTIVE LAND OWNER.
20. DRAINAGE FROM THE SUBJECT PROPERTY ONTO THE TOWN'S RIGHT-OF-WAY, WHERE THERE IS MUNICIPAL SIDEWALKS, SHALL BE SURFACE DRAINAGE ONLY. SUMP PUMP DISCHARGE SHALL NOT DRAIN ACROSS TOWNS SIDEWALKS.

**ALL WATER AND SANITARY MAIN
TAPS ARE TO BE PERFORMED BY
REGION OF HALTON FORCES ONLY.**

- ANY WORKS PROPOSED WITHIN THE TOWN OF MILTON RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT.
- A NEW DRIVEWAY LOCATION WOULD REQUIRE AN ENTRANCE PERMIT.

REGION DESIGN OF WATER &/OR WASTEWATER SERVICES
APPROVED SUBJECT TO DETAIL CONSTRUCTION CONFORMING
TO HALTON REGION STANDARDS & SPECIFICATIONS &
LOCATION APPROVAL FROM AREA MUNICIPALITY.

SIGNED: _____ DATED: _____
INFRASTRUCTURE PLANNING & POLICY

The Applicant should be aware that the approval of the water system on private property is the responsibility of the Local Municipality. Regardless, the Applicant must ensure that the Region of Halton's standards and specifications are met. *(the Water and Wastewater Linear Design Manual may be obtained from the Data Management Group at 905-825-6032)* Furthermore, all water quality tests must be completed to the Region of Halton's satisfaction, before the water supply can be turned on.

MAIN STREET EAST

BRONTE STREET SOUTH

MARY

KING

JOHN

BOWES

MILES

BARTON

BELL

SUBJECT PROPERTY

- PIN 24957-0011 (LT)
- ADDRESS: 62 MILES STREET
- LOT 22 REGISTERED PLAN 170
- TOWN OF MILTON

EXISTING ELEVATION	× 206.55	EXISTING	EX.	
PROPOSED ELEVATION	× (206.55)	GUY WIRE		GUY
TOP OF FOUNDATION	T/F=206.33	HYDRO POLE		HP
FINISHED FLOOR ELEVATION	F/F=206.33	HYDRO METER		HM
CATCHBASIN		GAS METER		GM
MANHOLE		WATER VALVE		WV
DOWNSPOUT				
SUMP PUMP DISCHARGE		BELL PEDESTAL		BELL
CABLE TV		TV PEDESTAL		CATV
GAS LINE		DECIDUOUS TREE		
SANITARY SEWER		CONIFEROUS TREE		
WATERMAIN		TREE TO BE REMOVED		
STORM SEWER		SILT/SNOW FENCE		
OVERHEAD HYDRO				
FENCELINE				
CENTRELINE OF ROAD				
TOP OF BANK				
BUILDING				
ASPHALT				
CONCRETE				

TOP OF FOUNDATION = (199.00)
UNDERSIDE OF FOOTING = (196.48)
BASEMENT FLOOR = (196.71)
FINISHED FLOOR = (199.30)

NOTE: 7'-10" FOUNDATION WALL HEIGHT ASSUMED.

- MINIMUM LOT FRONTAGE = 15.0m
- MINIMUM LOT DEPTH = 30m
- MINIMUM FRONT YARD = 4.0m
- MINIMUM SIDE YARD = 1.2m
- MINIMUM SIDE YARD (CHIMNEY) = 0.75m
- MINIMUM EXTERIOR SIDE YARD = 2.0m
- MINIMUM REAR YARD = 7.5m
- MAXIMUM LOT COVERAGE = 25%
- 20.117m (EXISTING)
- 36.608m (EXISTING)
- 4.03m
- 1.74m
- 1.25m
- 5.57m
- 19.01m
- 26.8%

1. BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17. NAD 83-CRS82 (2002) ADJUSTMENT.
2. DISTANCES SHOWN ON THE PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO UTM GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.99967497.

ELEVATIONS ARE BASED ON GPS OBSERVATIONS TO PERMANENT REFERENCE STATIONS AND HAVE BEEN CORRECTED TO ORTHOMETRIC ELEVATIONS WITH GEOID MODEL HT-2, AS SUPPLIED BY NATURAL RESOURCES CANADA.

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A NEW RESIDENTIAL DWELLING, LOCATED ON MILES STREET, MILTON, AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES, AS SHOWN, WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

DATE: FEBRUARY 1, 2017

JAMES M. LAWS
ONTARIO LAND SURVEYOR

LOT 22, REGISTERED PLAN 170
TOWN OF MILTON
REGIONAL MUNICIPALITY OF HALTON



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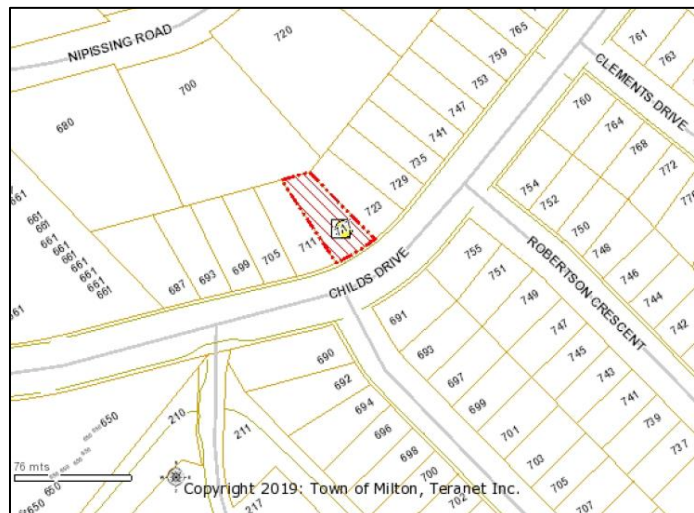
The Owner/Applicant of **717 Childs Drive, Milton** is proposing to a shed in the rear yard and require the following variance is required:

1. Requesting permission to allow an increase in the gross floor area to 18.5 square metres
WHEREAS the current by-law states that the maximum gross floor area for an accessory structure is 14 square metres for lots having a lot size between 660 square metres and 880 square metres.

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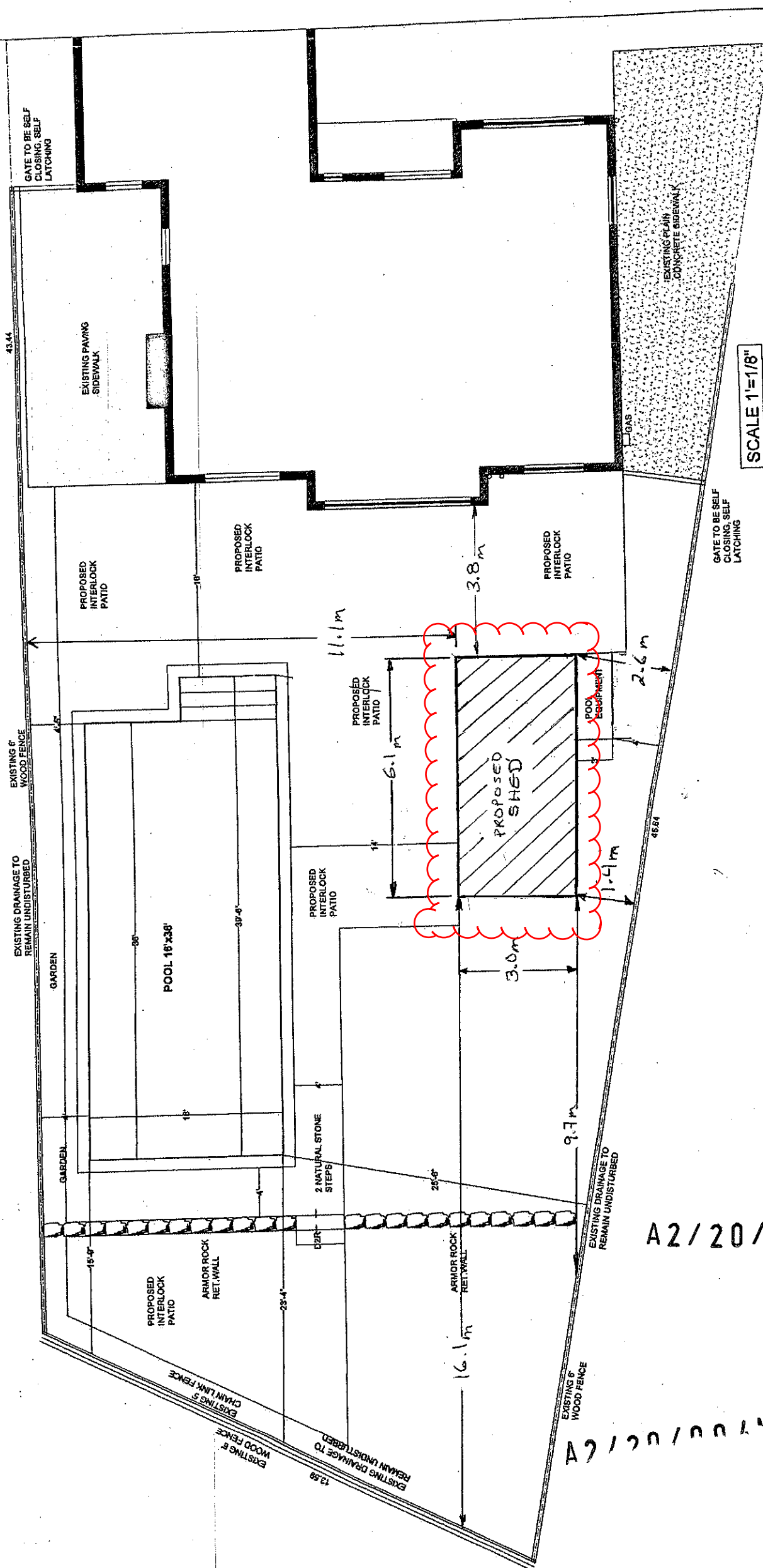
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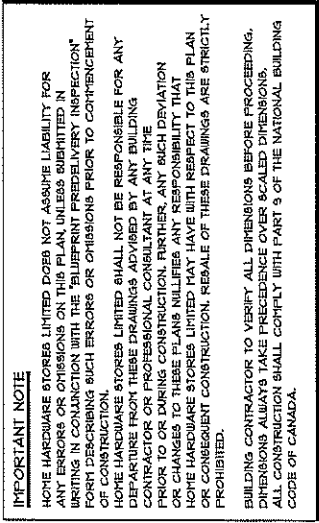
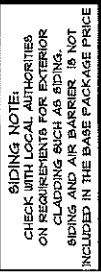
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Date: February 7, 2020

Date: Dec. 02, 2019



ROOF TO BE VENTED
TO 1/300 OF ATTIC
AREA



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY
FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS
THE REQUIREMENTS SET OUT IN THE OFFBOARD BUILDING CODE
TO THIS A. QUALIFICATION.

Registered nation design is exempt under Division G, subsection 2.2.6 of the O.B.C.

QUALIFICATION INFORMATION

Craig Richards

Craig Richards 2013/4 BCN

NAME SIGNATURE

REGISTRATION INFORMATION

Registered nation design is exempt under Division G, subsection 2.2.6 of the O.B.C.

Home: Trenchard Street Limited 30945 BCN

FIRM NAME

DESIGN LOADS

ROOF LOADS :

LIVE LOAD = 25 PSF
DEAD LOAD = 15 PSF
TOTAL ROOF LOAD = 40PSF

SOIL BEARING CAPACITY:



MINIMUM ALLOWABLE SOIL BEARING CAPACITY TO BE 25KSF (NO.3 PSD)

CONFIRM ALL EXTERIOR WINDOW
AND DOOR ROUGH STUD OPENING
SIZES PRIOR TO CONSTRUCTION

DRIP CAP FLASHING ABOVE ALL
EXTERIOR WINDOWS AND DOORS
IN SIDING APPLICATIONS

BY OWNER

- ALL CONCRETE & IRON RAILINGS
- PARKING
- BRICK FACE & ACCESSORIES
- MECHANICAL SYSTEMS
- ELECTRICAL SYSTEMS
- FOUNDATION DRAINAGE LAYER
(IF REQUIRED)

REVISIONS	DATE	<div style="text-align: center;">  </div> <p>A DETAIL NUMBER - B WHERE DETAIL REQUIRED C SHEET NUMBER - D WHERE DETAILED</p> <p>NOTES</p> <ul style="list-style-type: none"> o DRAWING IN ACCORDANCE TO MATERIAL SUPPLIER'S CODE REQUIREMENTS o SPECIAL DRAWINGS AND APPROVALS TO MEET LOCAL CONDITIONS ARE TO CONFORM TO LOCAL REQUIREMENTS AND MUST BE OBTAINED FROM THE RELEVANT AUTHORITY OF THE COUNTRY. o DO NOT SCALE - 2-D TO 3-D OR VICE VERSA 	MODEL 10' X 20' GARDEN SHED CUSTOMER MILTON HHBC STORE	DRAWING ELEVATIONS SCALE 1/4" = 1'-0" DATE NOVEMBER, 2019 DRAWN BY MH	ADDRESS 117 CHILDS DRIVE, MILTON DATE NOVEMBER 14, 2019	<div style="text-align: center;">  <h1 style="margin: 0;">Home</h1> <p style="margin: 0;">building centre</p> </div> <p style="font-size: small; text-align: center;">THIS DESIGN AND CONSTRUCTION DRAWING IS THE PROPERTY OF HOME HARDWARE STORES LIMITED AND IS NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION</p>	PROJECT NUMBER AZ G19-171-1338-B	SHEET NUMBER <div style="display: flex; justify-content: space-between; align-items: center;"> 1 4 </div>
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W70007



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The Owner/Applicant of **7211 Fifth Line, Milton** is proposing to construct an industrial warehouse building (currently under site plan review). The proposed new development requires the following variances:

1. Requesting permission to allow a decrease in the minimum landscape buffer to 2.9 metres WHEREAS current zoning requires a 4.5 metre landscape buffer abutting a street line;
2. Requesting permission to allow a decrease in setback to 0.3 metres (from the southeast corner) and 0.5 metres (from the northwest corner) WHEREAS current zoning states that a minimum setback of 2.2 metres is required from a parking area location to a building;
3. Requesting permission to allow a decrease in setback to 0.6 metres WHEREAS current zoning requires that the minimum setback from a parking area to a lot line be 1.5 metres; and
4. Requesting permission to allow a decrease in setback to 3.0 metres WHEREAS current zoning requires that the minimum setback of 4.5 metres is required from a parking setback from a street line.

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This notice is being sent to you because you are the applicant, the authorized agent, the property manager of a condominium corporation, or the assessed property owner of property within 60 metres of the subject property, as required by the *Planning Act*.

Should you have comments on the application, you are invited to attend the public hearing to express your views. Alternatively, written submissions will be accepted by the Secretary-Treasurer with respect to this application must be made in writing **NO LATER THAN Monday, February 17, 2020** to the Secretary-Treasurer. Any written

correspondence provided to the Committee Secretary-Treasurer are issued to the Members prior to the Hearing will form part of the public record and will be considered to have been read into evidence at the Hearing. If you wish to be notified of this Decision of the Milton Committee of Adjustment and Consent, you must submit a written request to the Secretary-Treasurer. This will also entitle you to be advised of any future Local Planning Appeal Tribunal proceedings. For more information on this matter, please contact the Committee Secretary as noted below. Additional information regarding this application are available for viewing at the Planning and Development Department between 8:30 a.m. and 4:30 p.m., Monday through Friday.

If you have received this notice and are an owner of a property and said property contains seven (7) or more residential units, the Town of Milton requires that you post this notice in a location that is visible to all the residents.

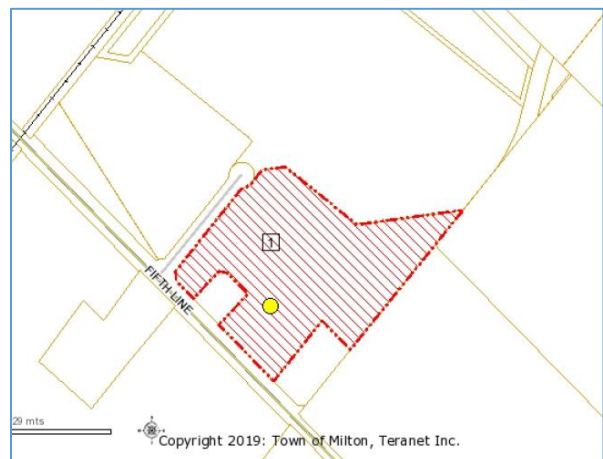
There is currently a planning application associated with these lands (Site Plan File: 25/19).

Personal information is collected under the authority of the *Planning Act*, and may be contained in an appendix to a staff report, published in the meeting agenda, delegation list and/or the minutes of the public meeting and made part of the public record. The Town of Milton collects this information in order to make informed decisions on the relevant issues and to notify interested parties of Committee's decisions. It may also be used to serve notice of an Environmental and Land Tribunals Ontario hearing. The disclosure of this information is governed by the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M. 56. Questions about this collection and disclosure should be directed to the Committee of Adjustment and Consent Office, Planning and Development Department, 150 Mary Street, Milton, Ontario L9T 6Z5 or 905-878-7252, ext. 2398.

Deborah Johnson

Deborah Johnson, A.C.S.T.
Secretary-Treasurer, Committee of Adjustment and Consent
☎ 905-878-7252, ext. 2215 ✉ debbie.johnson@milton.ca

Date: February 7, 2020



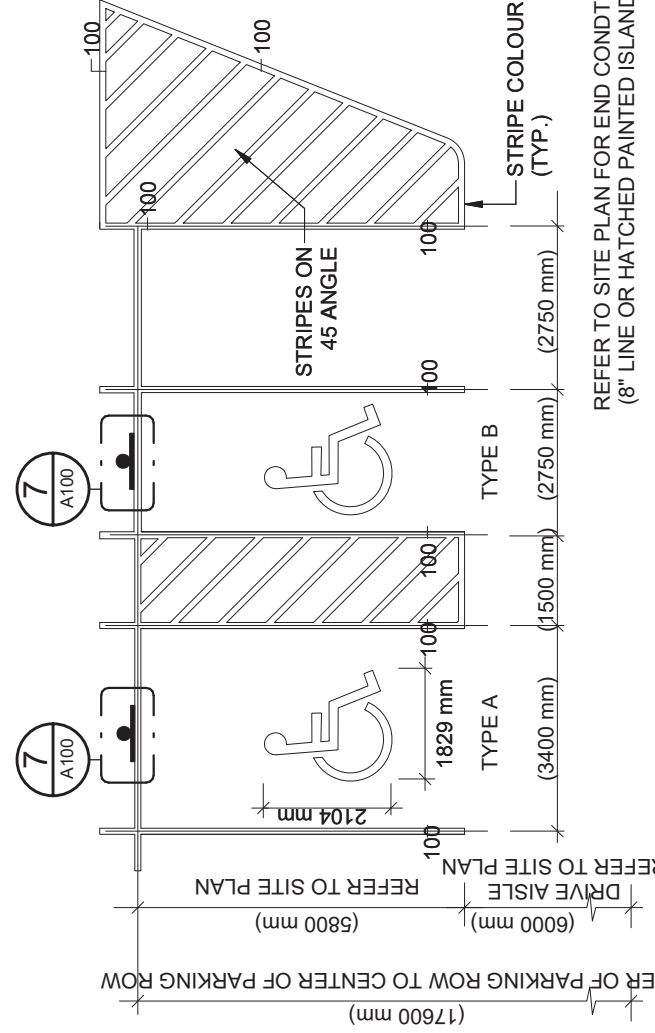
Appendix 1A - Site Plan with Variance Notations



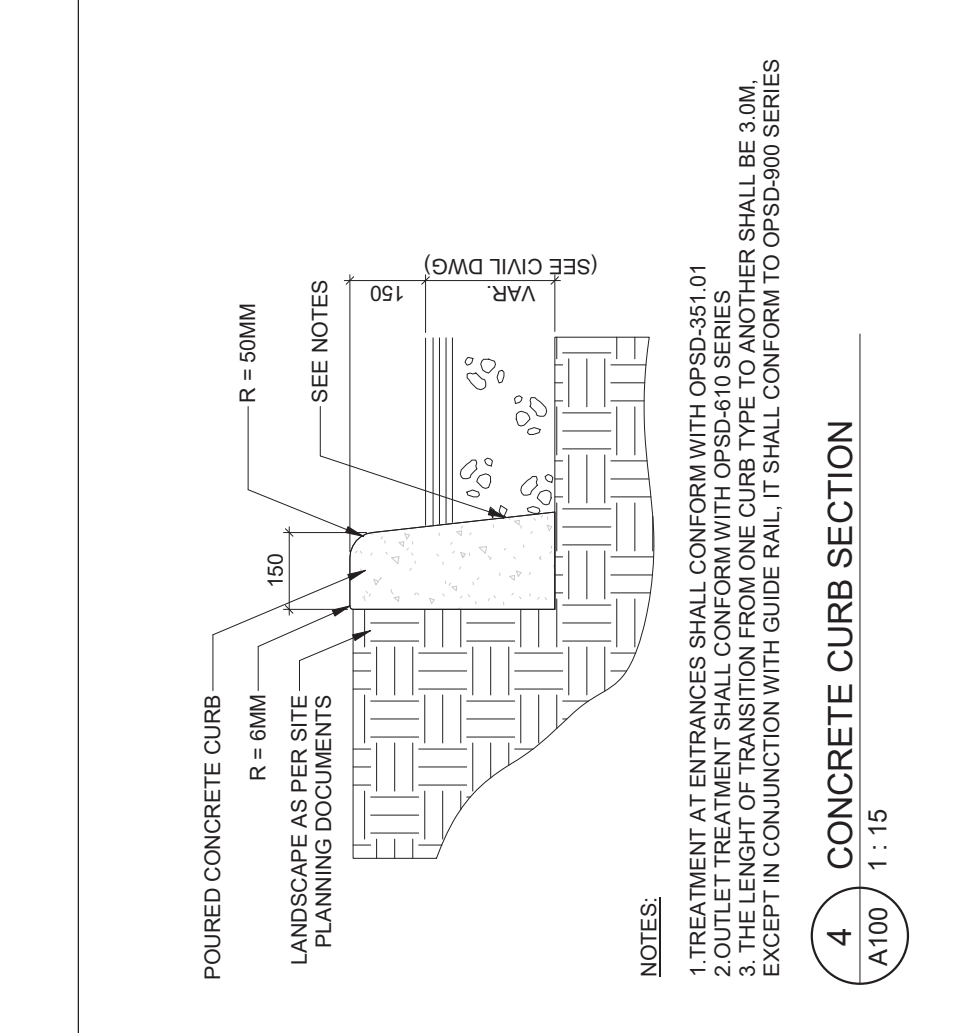
2 OVERALL SITE PLAN
A100/ 1:3000

ZONING BY LAW (GENERAL INDUSTRIAL ZONE)		
PROVISIONS	REQUIRED	PROVIDED
LOT COVERAGE	MIN. 45 %	44.55 %
FRONT YARD SETBACK (S IN LINE)	MIN. 12 m	24.3 m
INTERIOR SIDE YARD SETBACK	MIN. 3 m	8.5 m
EXTERIOR SIDE YARD SETBACK	MIN. 9 m	9.8 m
REAR YARD SETBACK	MIN. 12 m	46.2 m
HEIGHT	MIN. 15 m	13.5 m
LANDSCAPE OPEN SPACE (ABUTTING STREET)	5 %	18.28 %
LANDSCAPE BUFFER	MIN. 4.5 m	4.5 m
PARKING SPACE	196 CARS	196 CARS
ACCESSIBLE PARKING	6 SPACES (3 TYPE A-3 TYPE B)	5 SPACES
BICYCLE PARKING	20 SPACES	

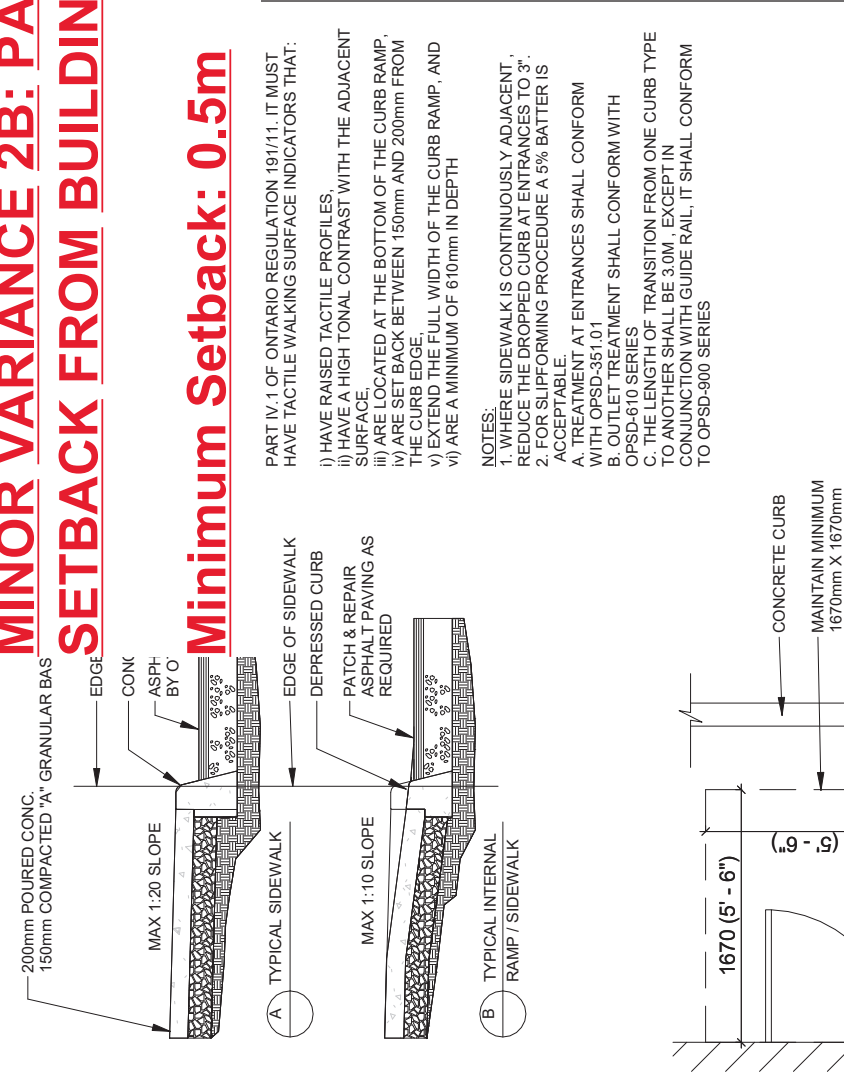
SITE STATISTICS	
TOTAL SITE AREA	5.33 HA
SWAMP POND AREA	1.81 ACRES
ROAD WIDENING AREA	0.40 ACRES
BUILDING C AREA	23,724 S.M.
WAREHOUSE AREA	245,395 S.F. / 23,724 S.M.
ACCESSORY OFFICE AREA	8,344 S.F. / 771 S.M.
M + E ROOM AREA	765 S.F. / 71 S.M.
TOTAL LEASABLE AREA	254,565 S.F. / 23,633 S.M.
GRASSY LOT AREA	23,724 S.M.
PARKING REQUIRED	196 CARS
PARKING PROVIDED	196 CARS
COVERAGE	44.55 %



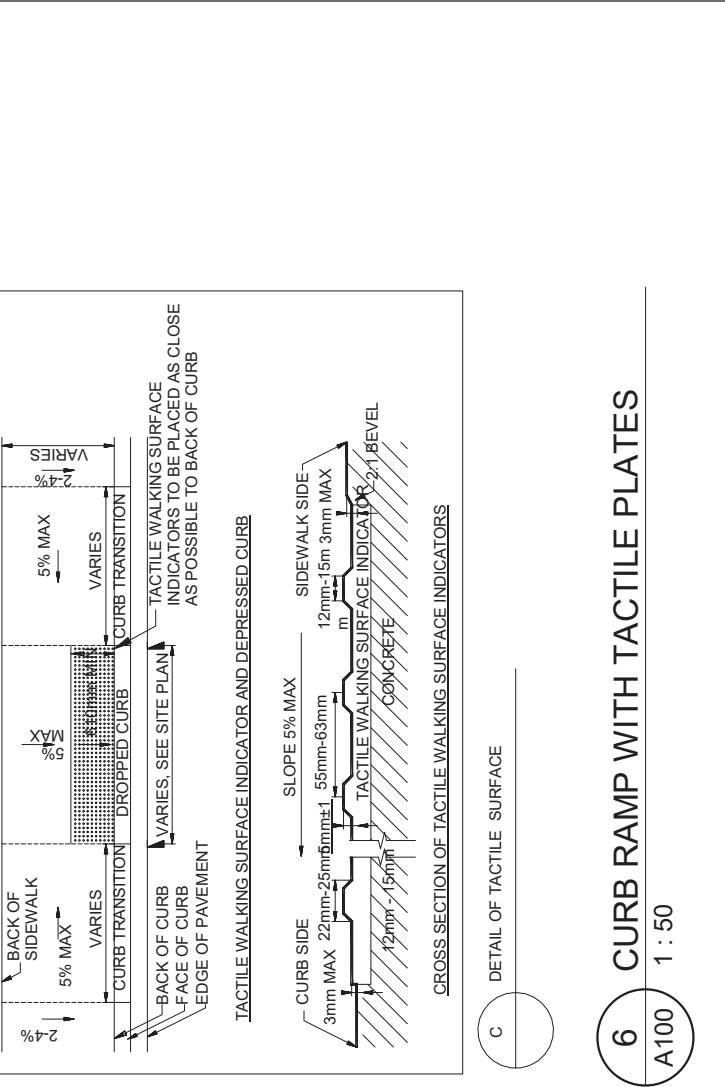
3 STANDARD PARKING DETAIL (ACDA)
A100/ 1:125



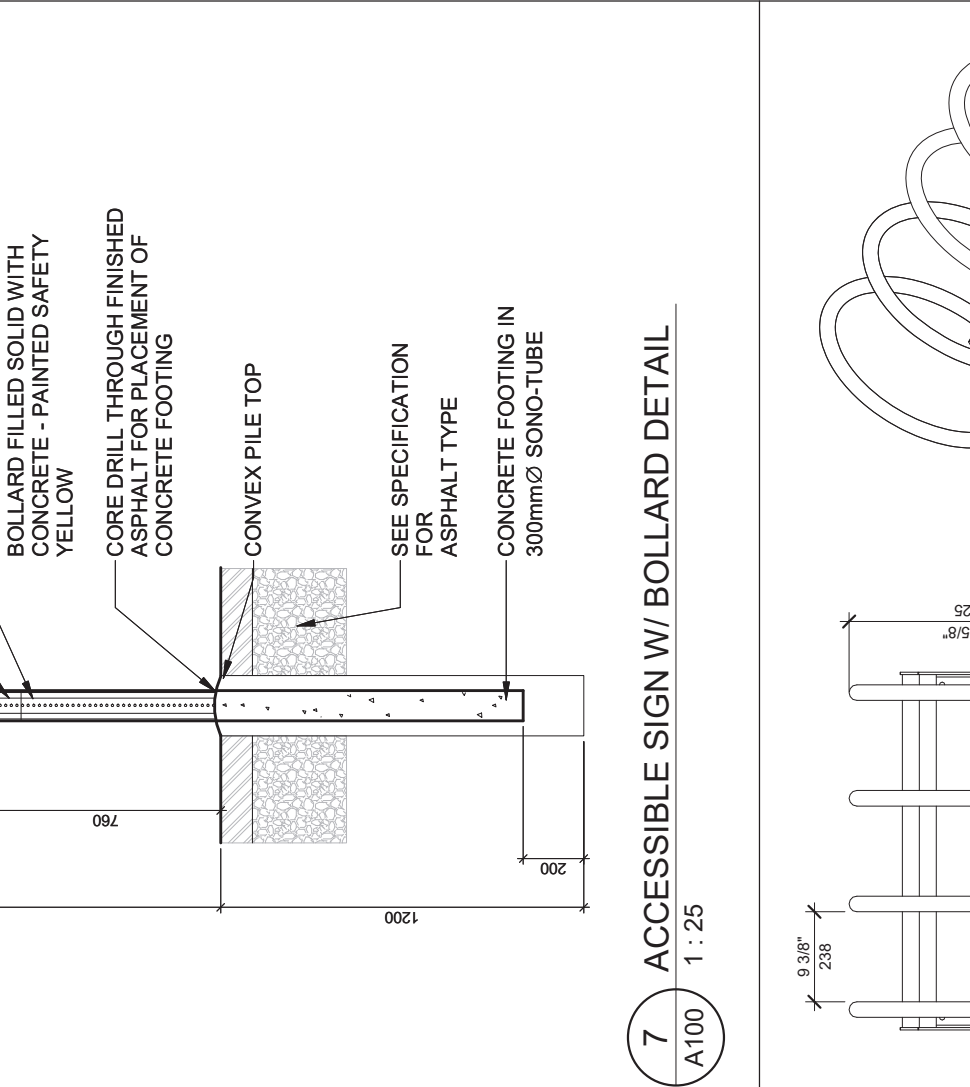
4 CONCRETE CURB SECTION
A100/ 1:15



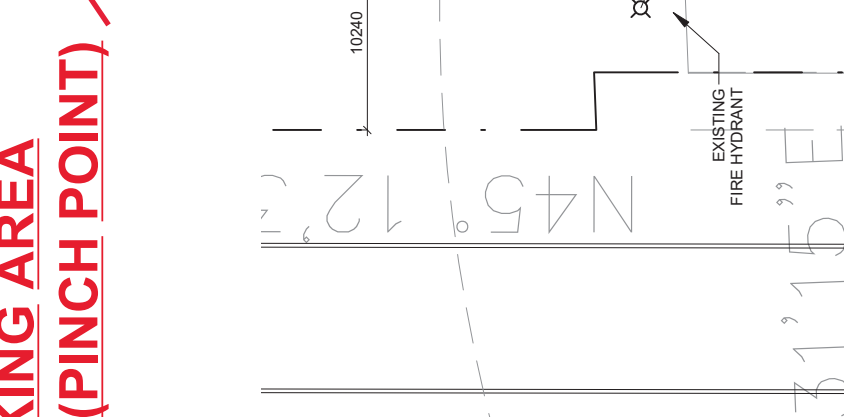
5 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



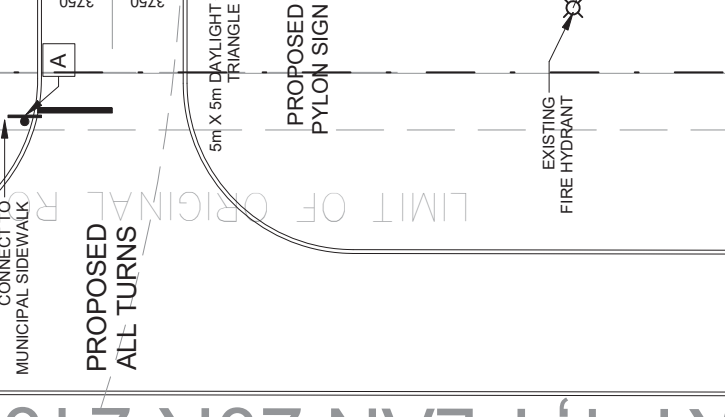
6 CURB RAMP WITH TACTILE PLATES
A100/ 1:50



7 ACCESSIBLE SIGN W/ BOLLARD DETAIL
A100/ 1:25



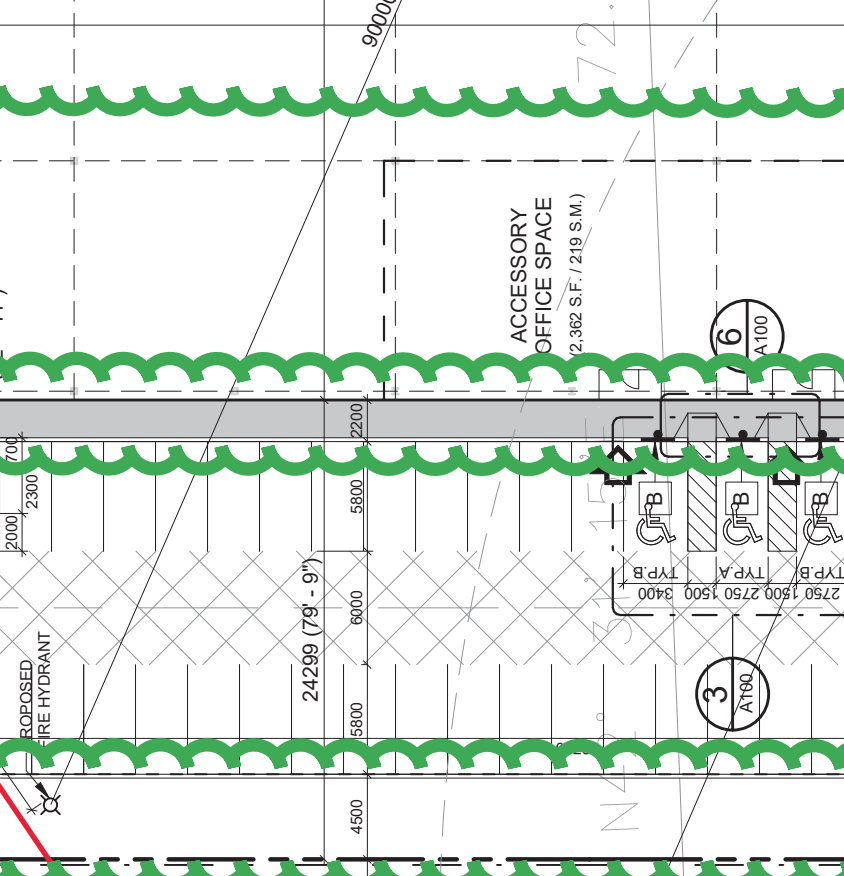
8 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
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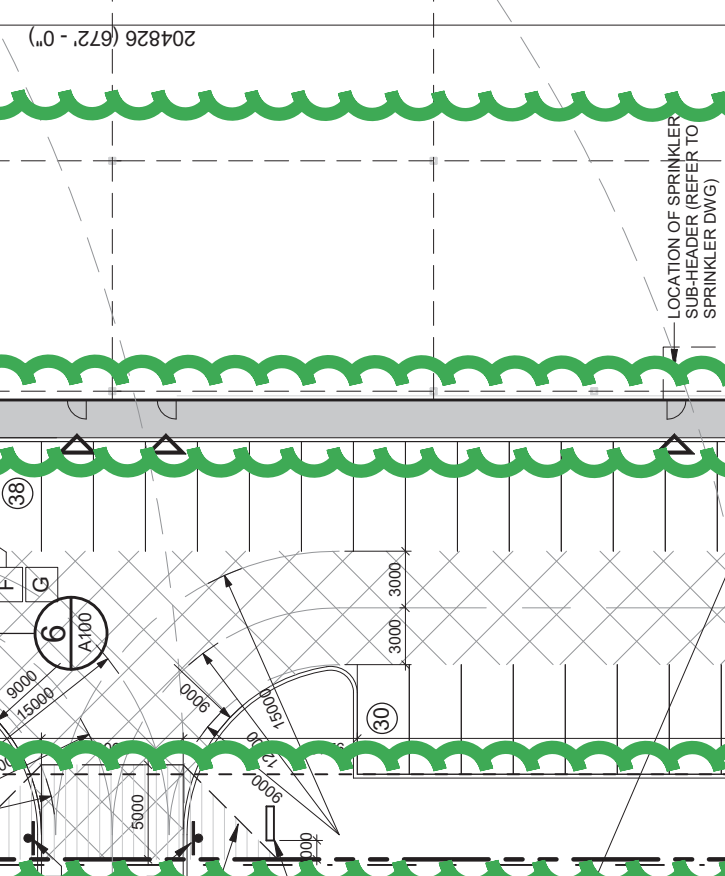
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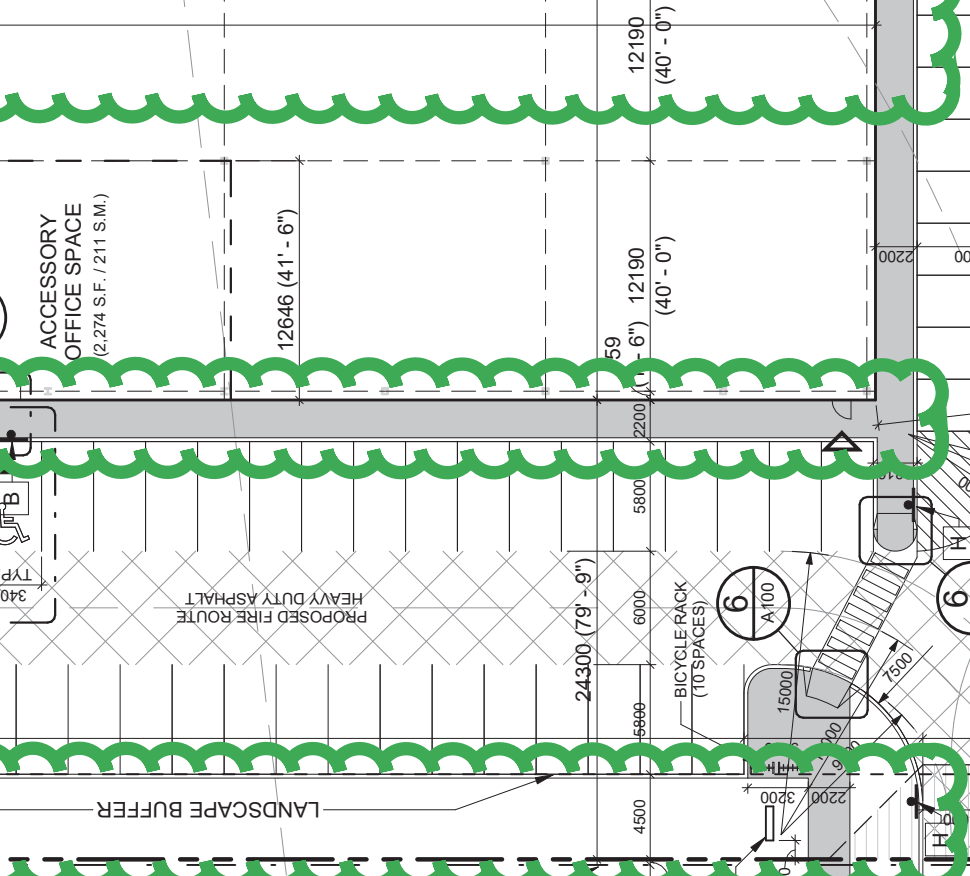
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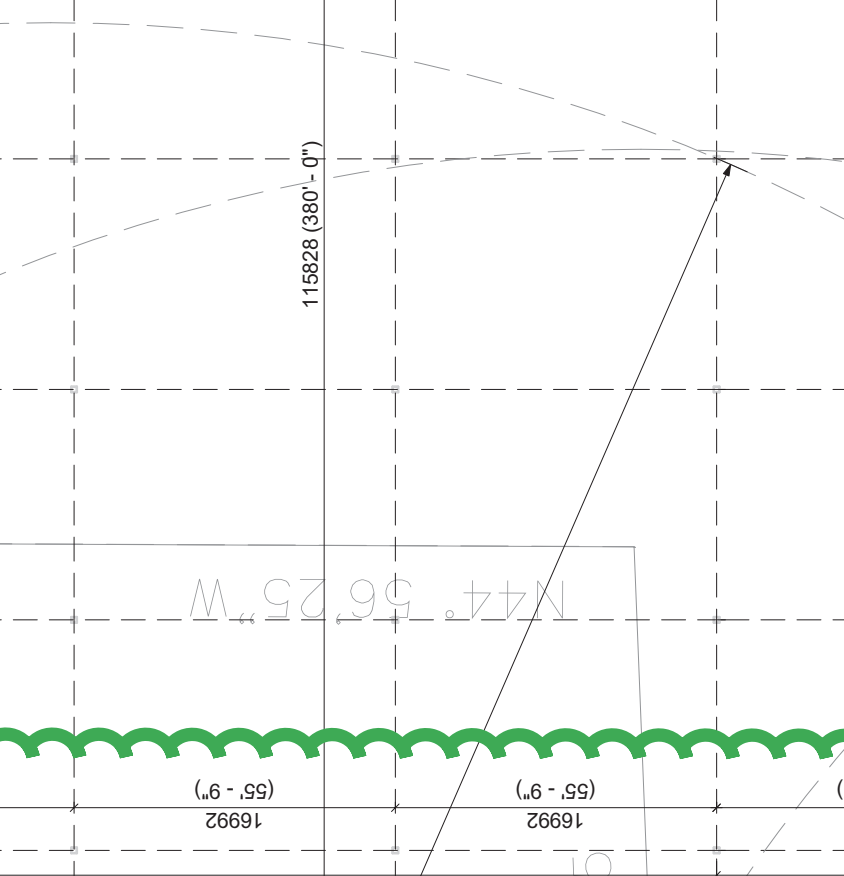
11 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



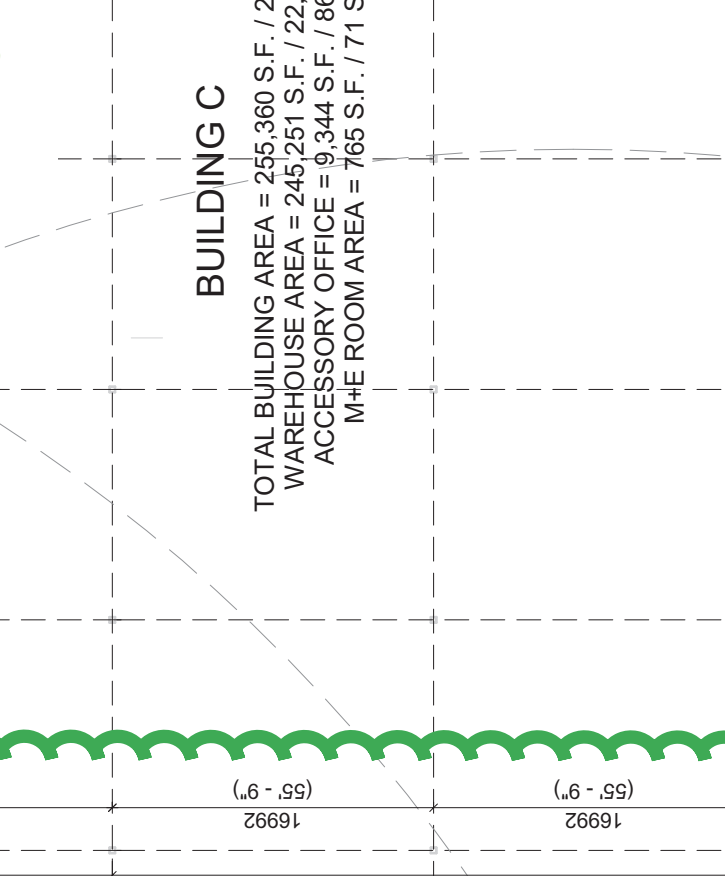
12 MINOR VARIANCE 2B: PARKING AREA
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Minimum Setback: 0.5m



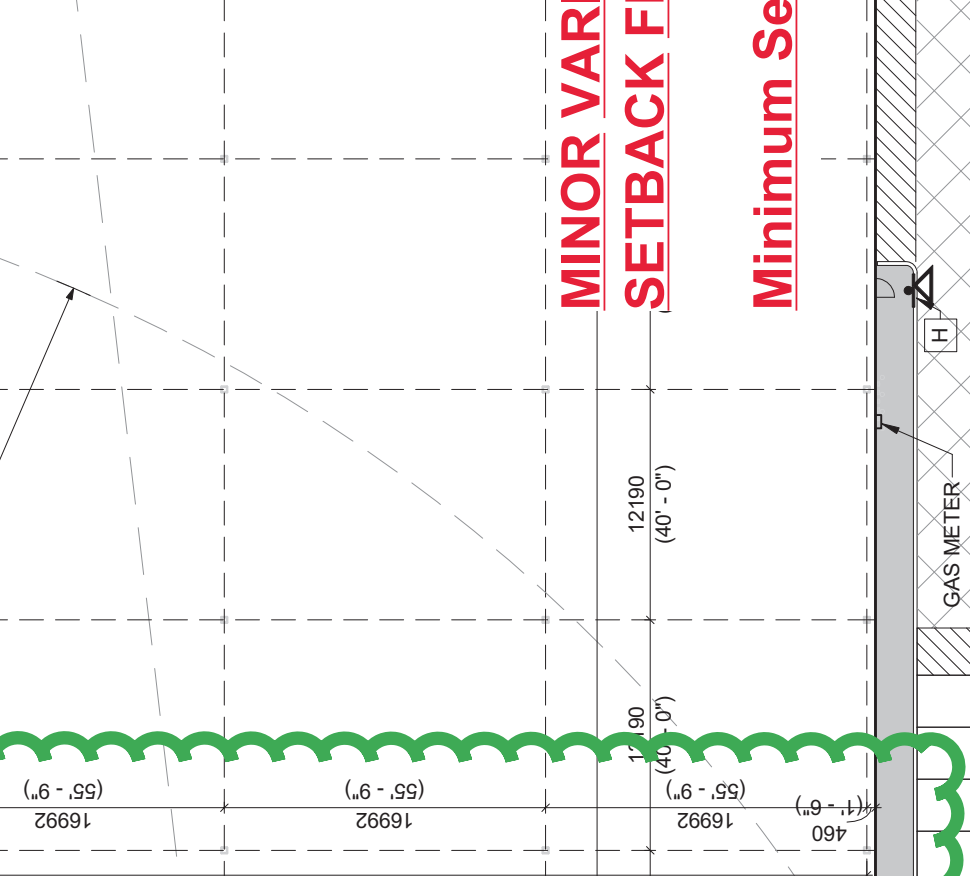
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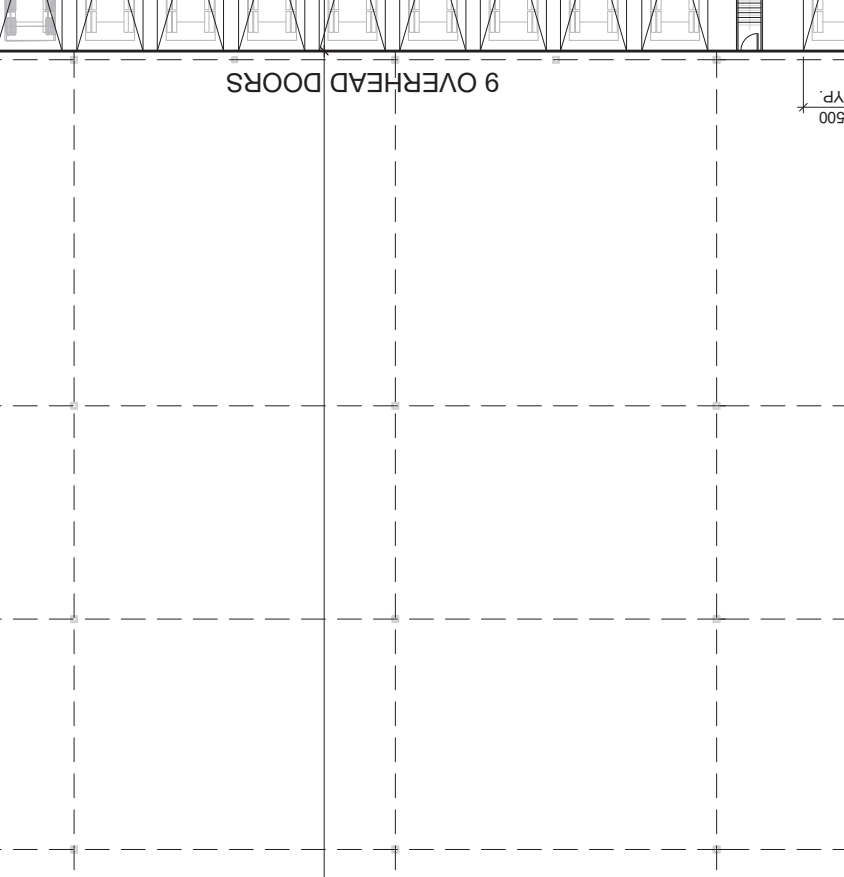
14 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



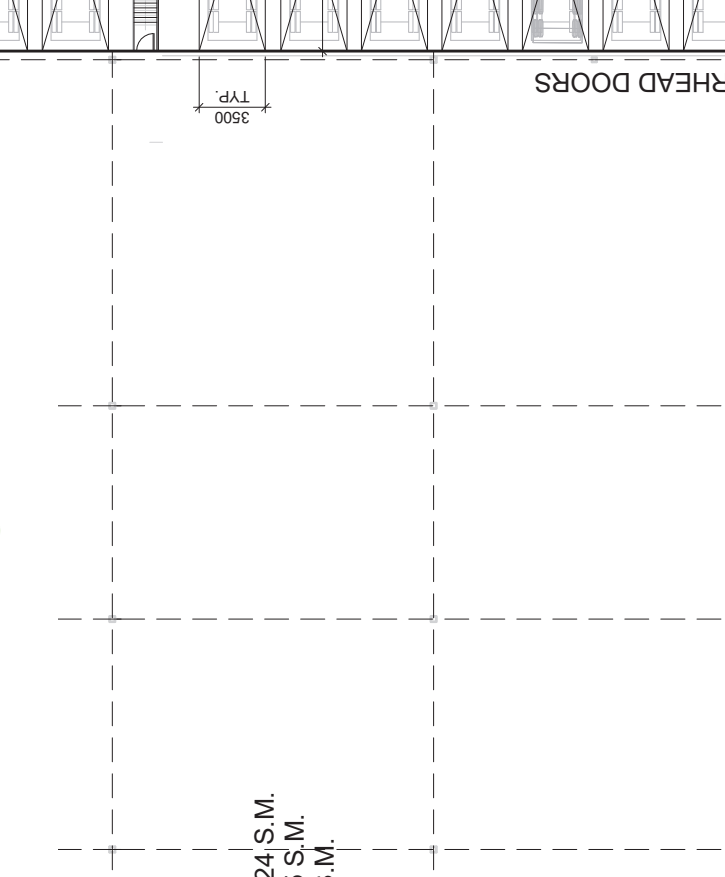
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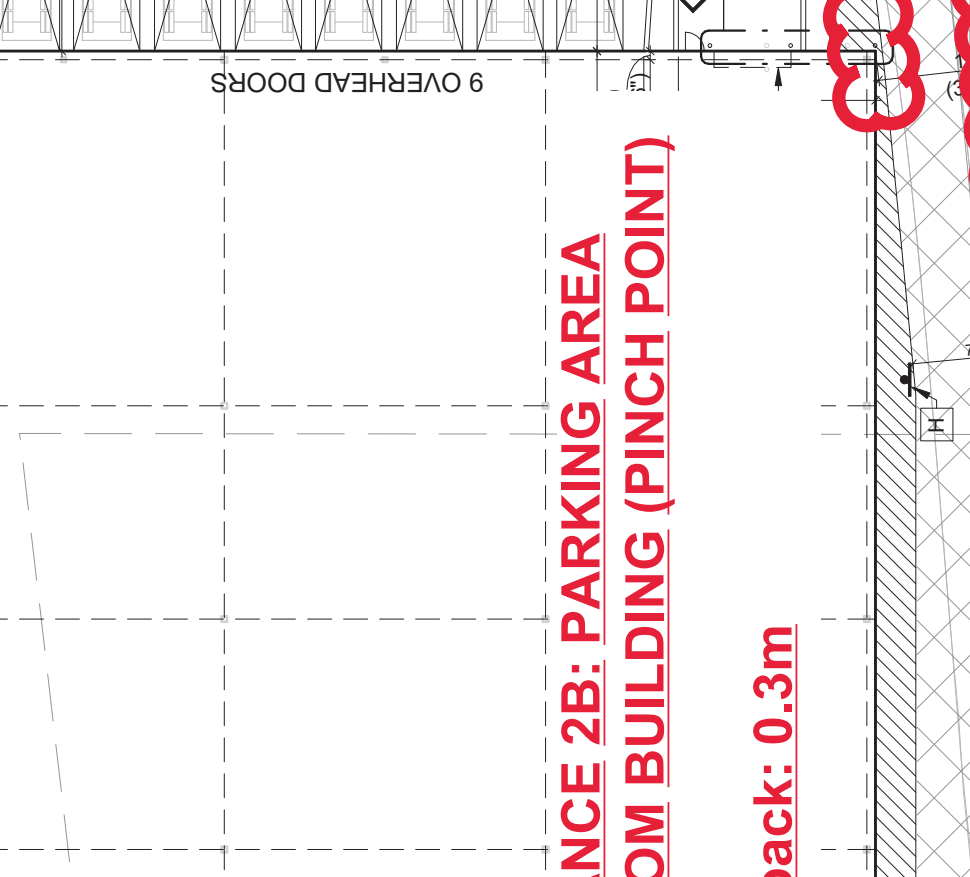
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Minimum Setback: 0.5m



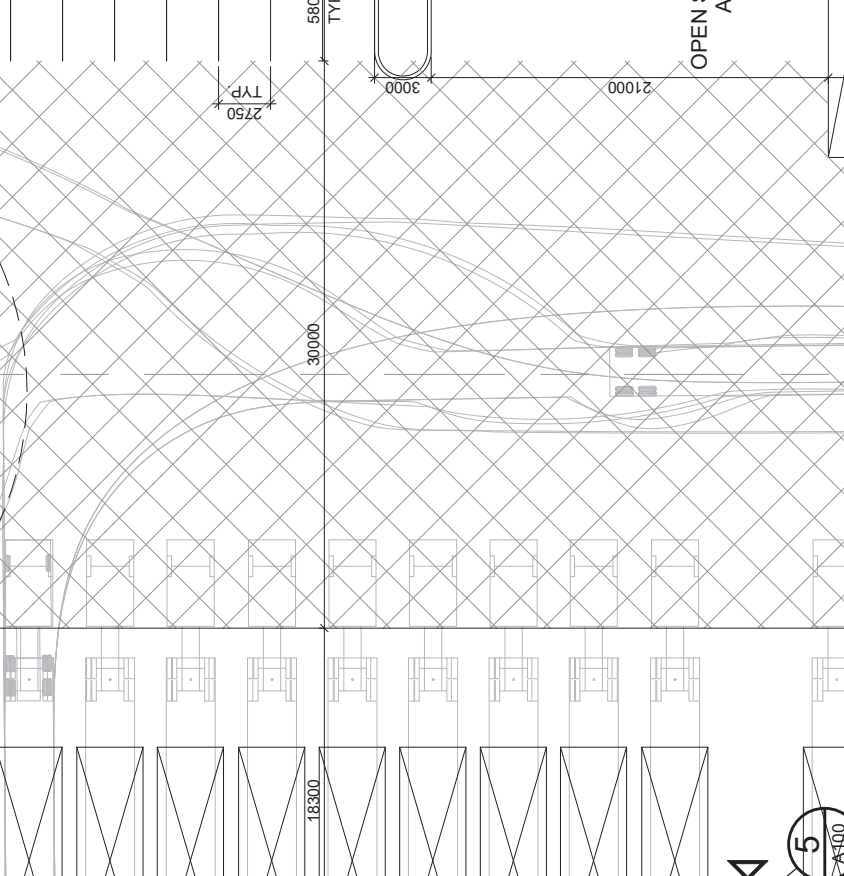
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SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



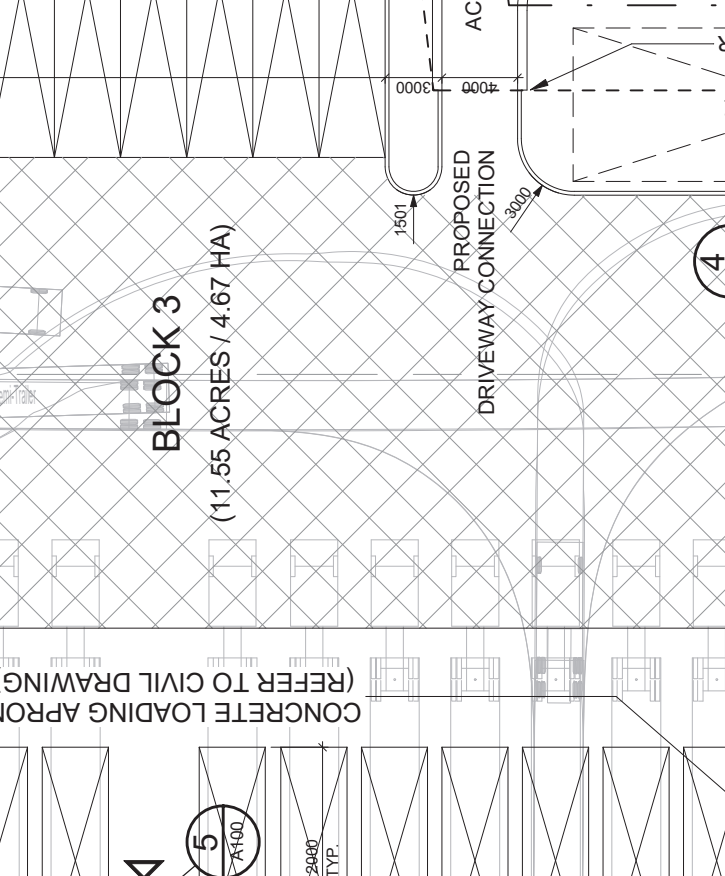
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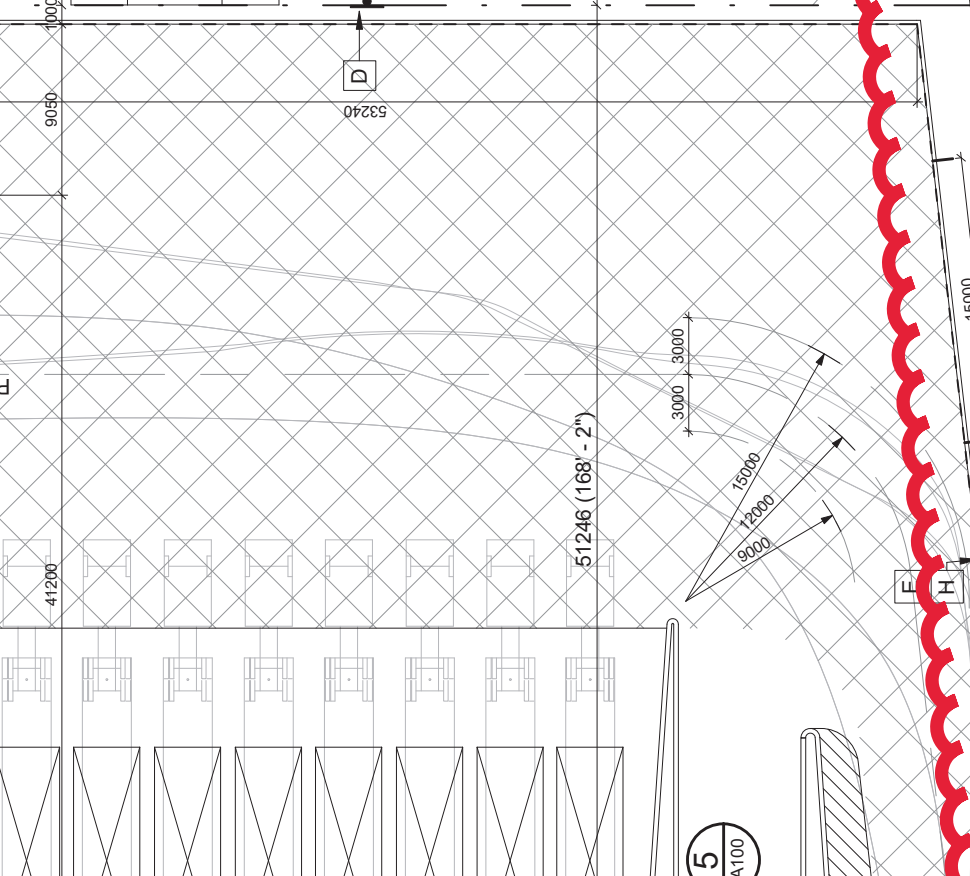
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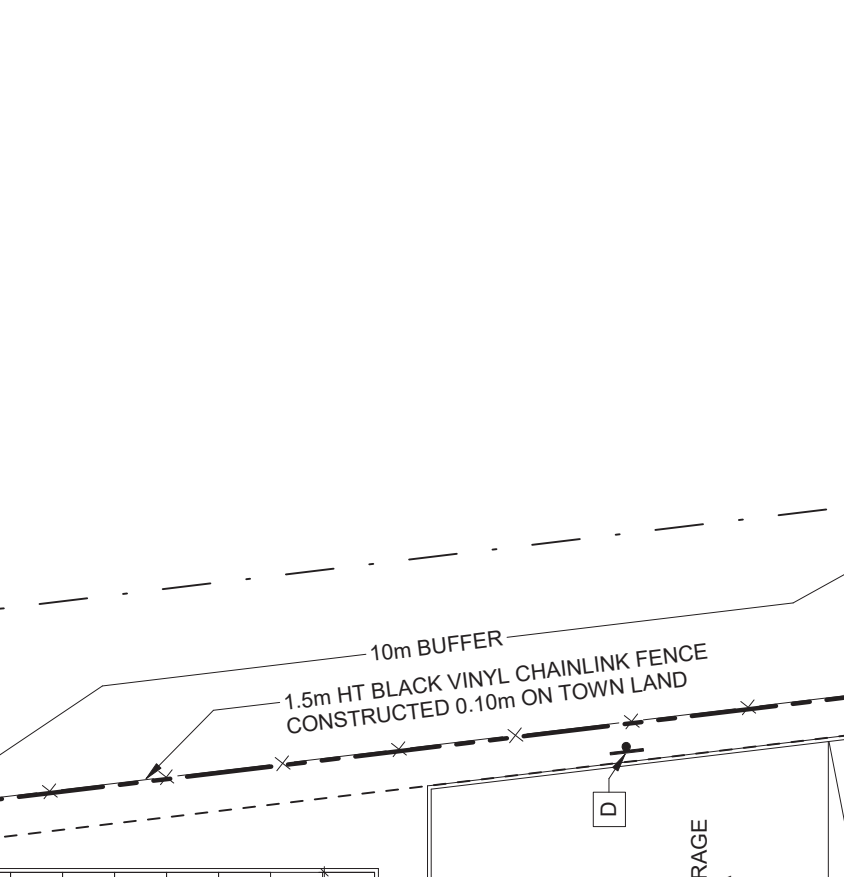
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Minimum Setback: 0.5m



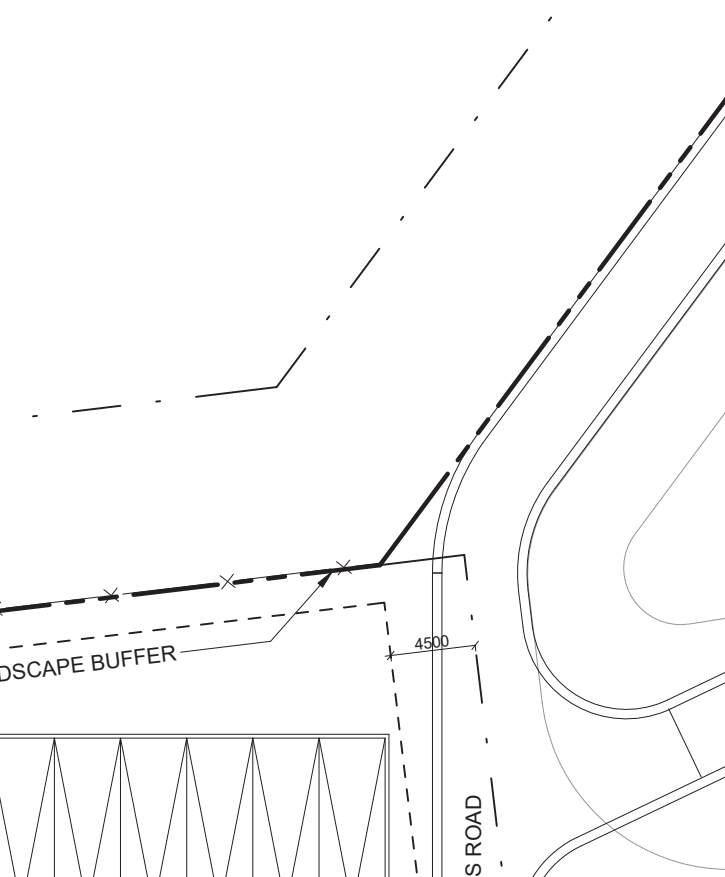
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Minimum Setback: 0.5m



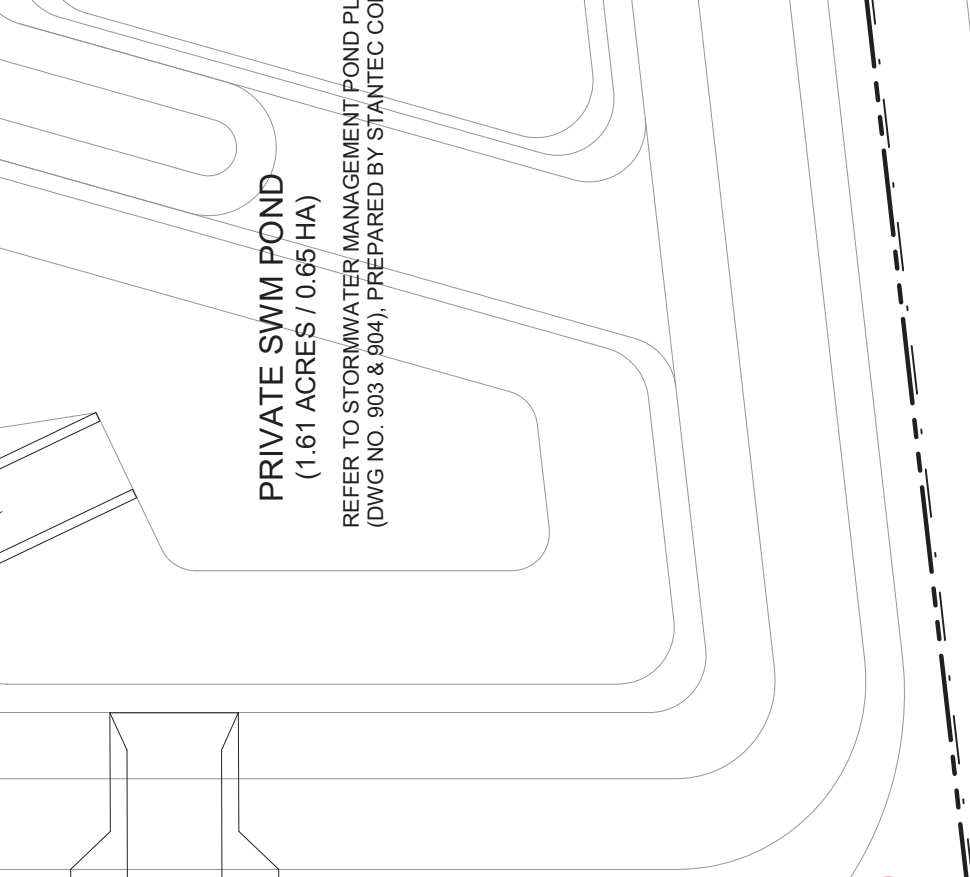
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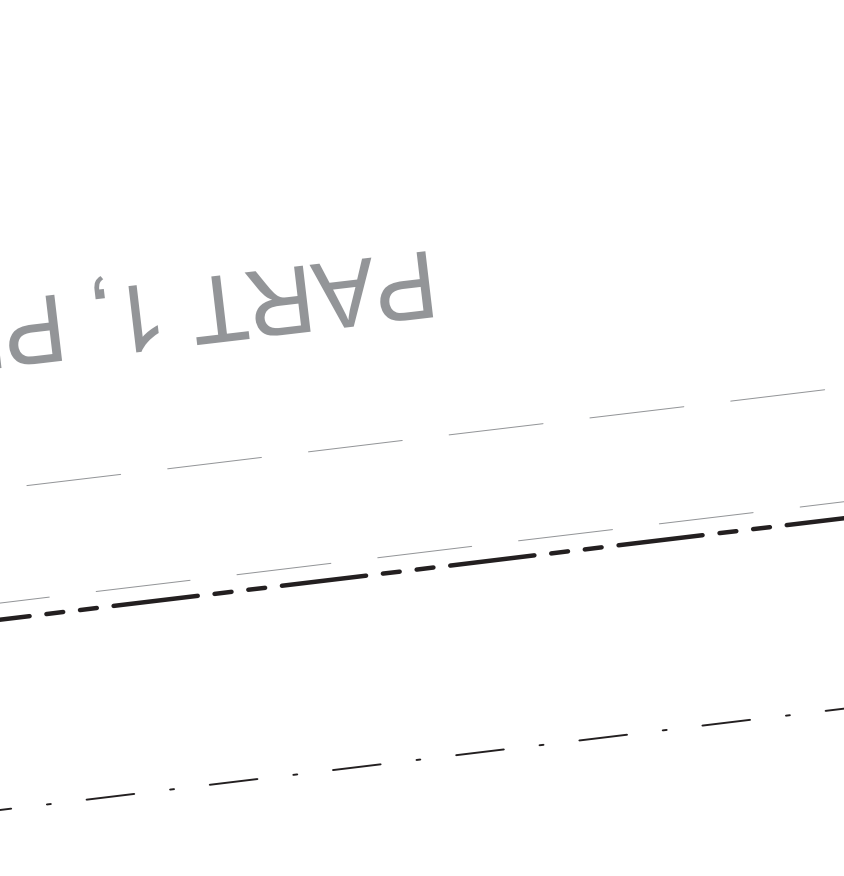
23 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



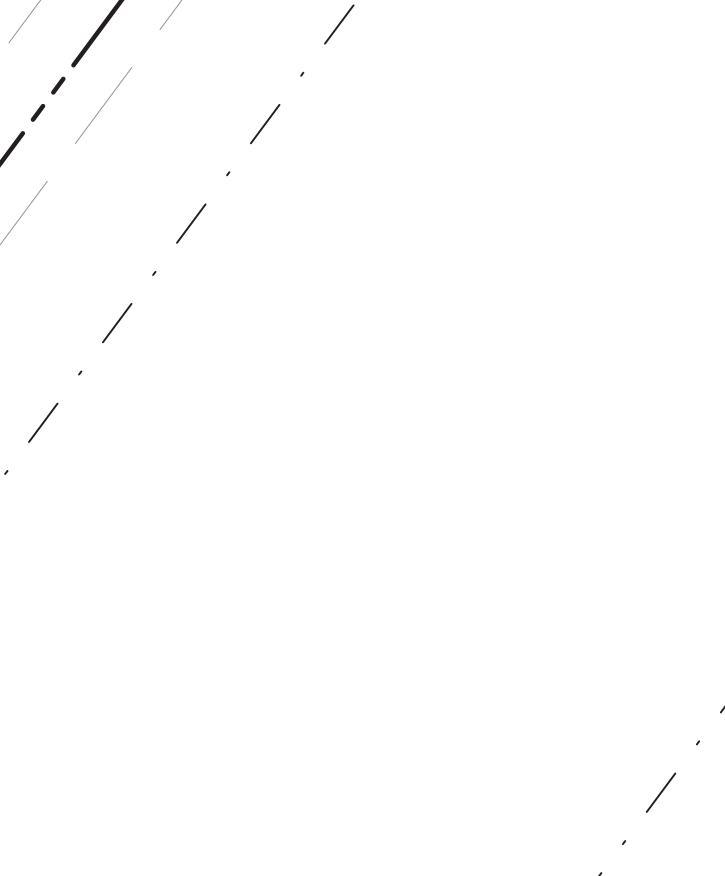
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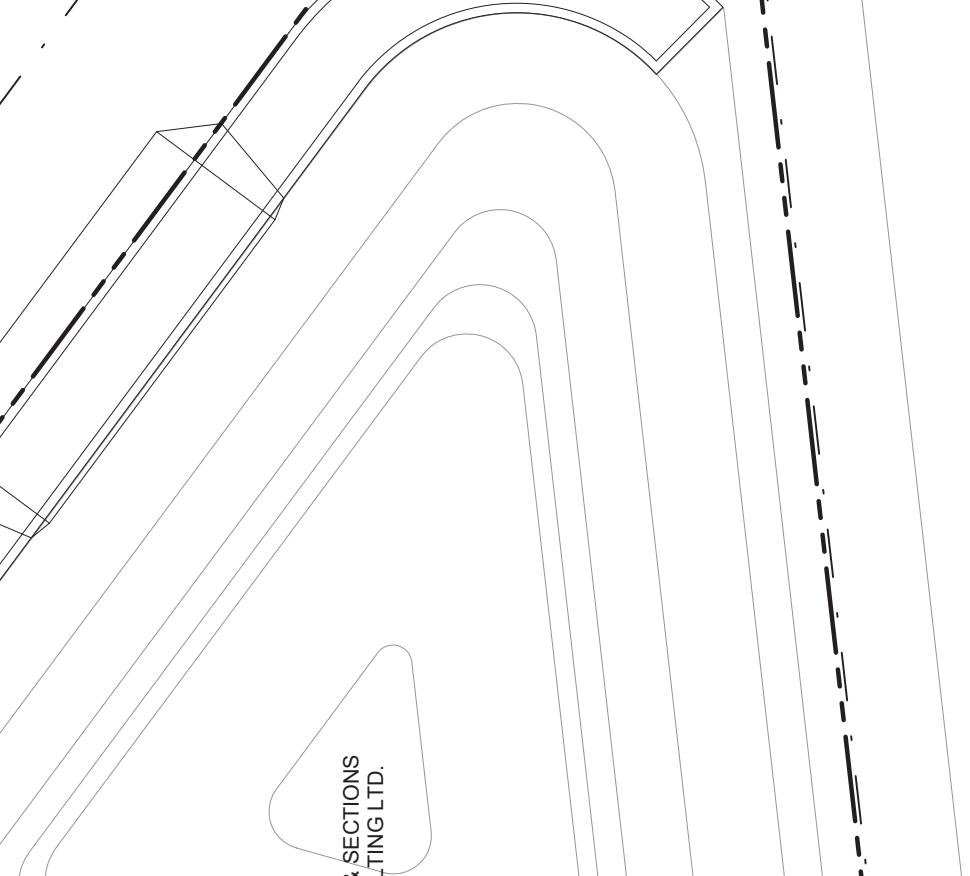
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Minimum Setback: 0.5m



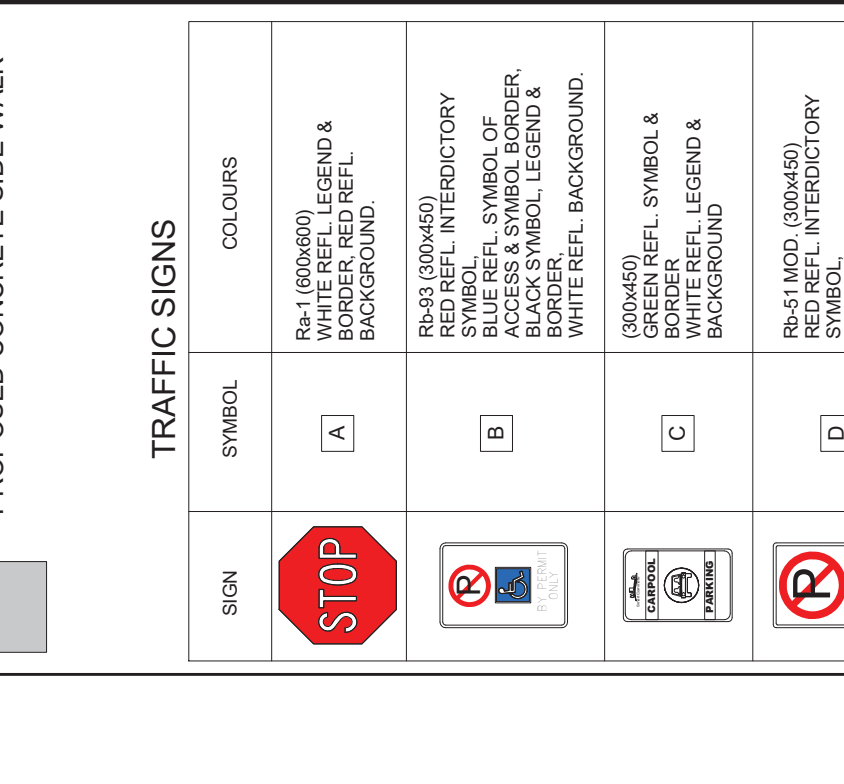
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Minimum Setback: 0.5m



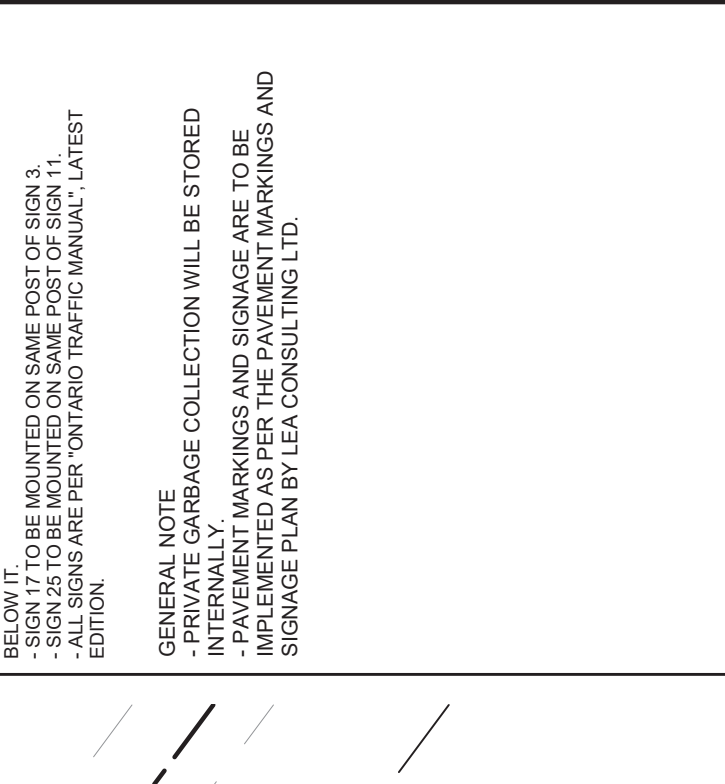
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Minimum Setback: 0.5m



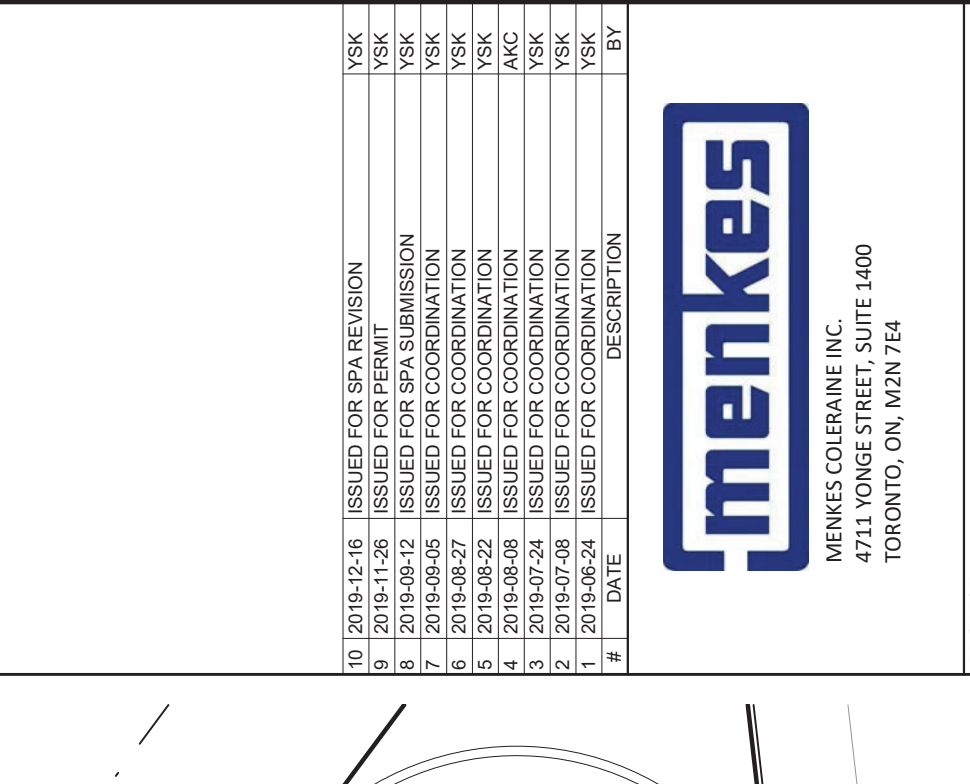
28 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



29 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



30 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m



31 MINOR VARIANCE 2B: PARKING AREA
SETBACK FROM BUILDING (PINCH POINT)
Minimum Setback: 0.5m