



The Corporation of the Town of Milton

Report To:	Council
From:	Barbara Koopmans, Commissioner, Development Services
Date:	October 4, 2021
Report No:	DS-077-21
Subject:	Public Meeting and Initial Report: Proposed a Zoning By-law Amendment by Shearling Heights Estates Ltd. for lands known as BLOCK 360, Plan 20M-1184 (Town File: Z-15/21)
Recommendation:	THAT Report DS-077-21 BE RECEIVED FOR INFORMATION.

EXECUTIVE SUMMARY

The applicant is seeking amendments to the Town of Milton Zoning By-law 016-2014, as amended, to facilitate the development of three (3) mid-rise apartment buildings totalling 313 units as well as 32 double-car garage townhouse units and 28 back-to-back townhouses. The three (3) mid-rise buildings will also feature commercial units at grade. The overall vision for the proposed development is to create a mixed-use residential and commercial node that will offer higher density, transit-supportive housing options in the area and in accordance with the secondary plan requirements. The Zoning By-law Amendment seeks to rezone the lands to permit the proposed townhouse units and back-to-back townhouses on the subject property and further establish zone standards specific to the proposed development.

The application is complete pursuant to the requirements of the Planning Act and is being processed accordingly. Upon completion of the Town's consultation and review process, a Technical Report, including recommendations, will be prepared and brought forward for consideration by Council. The Technical Report will address any issues raised through the process, including any comments received from the Public.

REPORT

Background

Owner: Shearling Heights Estates Ltd.

Applicant: Glenn Schnarr & Associates Inc.

Location & Site Description: The subject lands are approximately 2.12 hectares (5.2 acres) in size with approximately 130 metres of frontage on Bronte Street South and 116



Background

metres of frontage on Britannia Road. Please see Figure 1 - Location Map. The lands are currently vacant.

The immediate neighbourhood to the north consists of residential uses, primarily single-detached dwellings, semi-detached dwellings and townhouses. The lands to the northwest of the subject property are part of the Shadybrook Development draft approved plan of subdivision (24T-14012/M). The Shadybrook Development includes both residential and commercial uses. The lands to the southeast and southwest remain undeveloped.

Proposal: The application seeks to facilitate the development of three (3) mid-rise apartment buildings, a total of 313 residential units as well as 32 double-car garage townhouse units and 28 back-to-back townhouse units. The apartment buildings will include:

- Building A which will be located to the northeast corner of Bronte Street South and Britannia and will range from 8 to 10 storeys;
- Building B which is to be located at the southeast corner of Bronte Street South and Bronson Terrace and ranges in height from 4 to 6 storeys;
- Building C is to be located at the northwest corner of Britannia Road and Chretien Street.

The proposed development includes a variety of compatible residential built forms as envisioned in the secondary plan for this area, including mid-rise apartment buildings, townhouses and back-to-back townhouses. Through the three (3) mid-rise apartment buildings, a total of 313 residential units are proposed. The unit break down includes:

Unit Type	Number of Units
1 Bedroom	42
1 + Den Bedroom	165
2 Bedroom	80
2 + Den Bedroom	26
TOTAL	313

It should also be noted that the proposal includes 681 parking spaces, which exceeds the minimum parking requirements identified as 637 spaces in the Town's Zoning By-law. Further, the proposal includes a total of 3,407 square metres of open space and over 600 square metres of indoor amenity spaces. The outdoor open spaces will include a large linear open space central to the proposed development, two passive open space blocks that will provide pedestrian connections to both Bronte Street South and Britannia Road from within this development and broader residential area and one gateway/open space block at the corner of Britannia Road and Chretien Street.

Background

The application seeks to rezone the subject lands from the current Mixed Use (MU) Zone to Site Specific Mixed Use (MU*XX) to more appropriately align the proposed developments unique and upscale design particulars with site-specific provisions. A draft of the Zoning By-law Amendment is included as Appendix 1.

Figure 2 shows the concept plan for the proposed plan of development. Figure 3 shows a simplified site plan for the proposal.

The plans and documents, which have been submitted in support of the applications are listed below:

- Draft Plan of Subdivision prepared by J.D. Barnes Ltd., dated December 2016;
- Site Plan prepared by Glenn Schnarr & Associates, dated June 11, 2021;
- Conceptual Plans (Townhouse Concepts and Back-to-Back Concepts) prepared by One Riser Designs, dated February 19, 2021 and May 11, 2021;
- Planning Justification Report prepared by Glen Schnarr & Associates, dated July 2021;
- Archaeological Clearance Letter prepared by MTC, dated August 28, 2021;
- Traffic Impact Study prepared by GHD, dated May 21, 2021;
- Phase One Environmental Site Assessment prepared by Soil Engineers Ltd., dated October 8, 2013;
- Functional Servicing Report prepared by Schaeffers Consulting Engineers, dated June 2021;
- Geotechnical Engineering Report prepared by Grounded Engineers Ltd., dated March 1, 2021;
- Hydrogeological Assessment prepared by Grounded Engineers Ltd., dated April 19, 2021;
- Preliminary Noise Report prepared by Jade Acoustics Inc., dated June 7, 2021;
- Shadow Impact Study prepared by Strybos Barron King Landscape, dated June 16, 2021; and
- Urban Design Brief prepared by John G. Williams Ltd., dated June 23, 2021.

Planning Policy

The subject lands are within the Urban Area of the Town of Milton and further located within the Boyne Secondary Plan Area. Further, the subject lands are identified as being within the Ford neighbourhood of Schedule C.10.A of the Secondary Plan. The subject lands are also located on the corner of Britannia Road (Major Arterial Road) and Bronte Street South (Minor Arterial Road) as shown on Schedule C.10.B of the Secondary Plan. The subject lands are designated as Major Node Area on Schedule C.10.C and are within

Background

Phase 3A area as noted on Schedule C.10.D. The subject lands are zoned as Mixed Use (MU) as a result of a previous Zoning By-law Amendment approved for the property.

Section C.10.4.4. of the Boyne Secondary Plan provides a diverse range of housing options and transit-supportive development. The Plan provides a housing mix-target, which anticipates a higher percentage of medium and high density development than in other parts of the Urban Expansion Area. Further, Section C.10.5.1.1 c) of the Boyne Secondary Plan states that High Density Residential uses consisting of apartment buildings with a density range of greater than 100 to 200 units per hectare in accordance with the policies of Section C.10.5.1.4.

Section C.10.2.2 f) of the Boyne Secondary Plan states that Britannia Road represents a significant corridor in and through the Boyne Survey and Milton Urban Area, as such requires enhanced streetscape design. Also, Section C.10.3.2.8 of the Boyne Secondary Plan provides an objective that speaks to developing neighbourhoods that each have a “sense of place” created by the design of the development, including pedestrian orientation of the streetscape and emphasis placed on parks, which are designed as “meeting” points for the immediate area.

Based on the information provided and outlined above, Town staff is satisfied that an Official Plan Amendment is not required for the proposed development as the density range for High Density Residential Uses is met and the emphasis on a high level of Urban Design and the development of a unique “Sense of Place” is at the forefront of the development proposal.

Zoning By-law 016-2014, as amended

The subject lands are currently zoned Mixed Use (MU) under the Zoning By-law 016-2014, as amended, as part of a previous plan of subdivision application presented to Town Council for the subject property. The MU zone does permit apartment buildings but does not permit the proposed townhouse uses, a Zoning By-law Amendment will be required to accommodate the development as proposed and as required and envisioned through the Secondary Plan policies for this area.

The current application is seeking to rezone the lands to a Site Specific Mixed Use Zone to permit the proposed development. In addition to permitting the use, the site specific zoning also includes special provisions required to accommodate the unique design parameters and features being offered by the developer.

A draft Zoning By-law and Schedule A are attached to this report as Appendix 1.

Background

Site Plan Control

Should the Zoning By-law Amendment be approved, the applicant will be required to apply for and receive Site Plan Approval from the Town prior to the commencement of any construction.

Discussion

Notice of a complete application was provided on July 21, 2021.

The applicant held a virtual privately initiated Public Information Centre session (PIC) on September 29, 2021. The purpose of the PIC was to provide the public with an informal opportunity to not only view the drawings and concepts illustrating the proposal, but also to directly ask questions of the applicant and technical consultants and learn about the application process. Town staff were present at the PIC as well.

Notice for the public meeting was provided pursuant to the requirements of the *Planning Act* on September 9, 2021, through written notice to all properties within 200 metres of the subject lands, as well as an ad in the Milton Canadian Champion. The applications were circulated to the internal departments and external agencies on July 21, 2021.

Town staff are currently in the process of completing a review of the first submission. The Town will provide detailed comments to the applicant to review and address before moving the application forward to the preparation of a technical report. A resubmission will be required to address outstanding comments.

Staff has identified the following items to be reviewed:

- Urban design, as it relates to the street-oriented area adjacent to Britannia Road and Bronte Street South;
- Proposed uses, including ancillary uses;
- Condominium corporation implementation and location of the different corporations within this development;
- Traffic impacts; and
- Stormwater management and site servicing.

A technical report will be brought forward to Council at a later date, responding to issues raised both at the Public Meeting and through the circulation and planning review process.



Financial Impact

None arising from this Report.

Respectfully submitted,

Barbara Koopmans, MPA, MCIP, RPP, CMO
Commissioner, Development Services

For questions, please contact: Taylor Wellings, MSc (PI), MCIP, RPP Ext. 2311
Planner, Development Review

Attachments

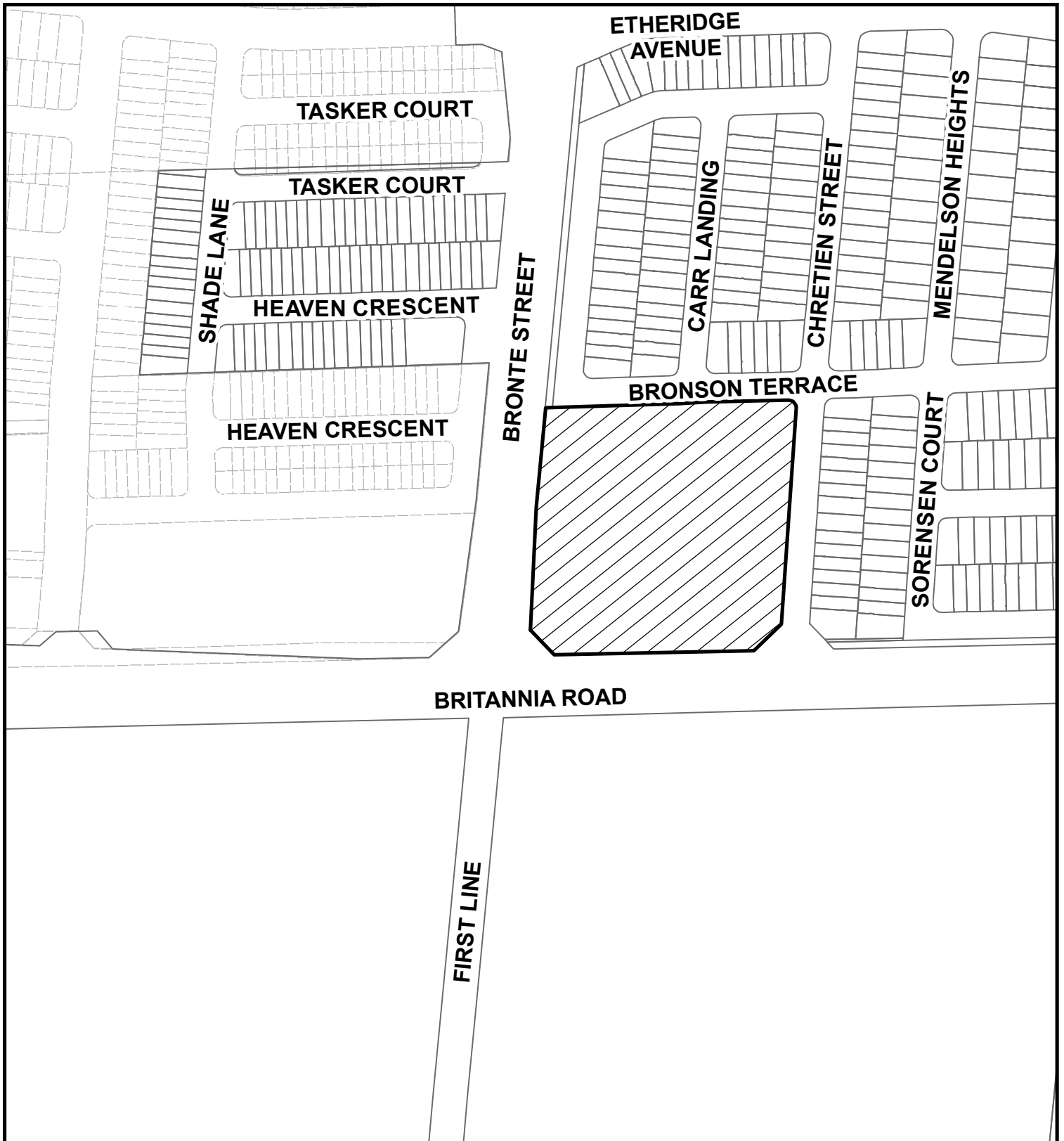
Figure 1 - Location Map
Figure 2 - Concept Plan
Figure 3 - Simplified Site Plan
Appendix 1 - Draft Zoning By-law & Schedule A

CAO Approval
Andrew M. Siltala
Chief Administrative Officer

Recognition of Traditional Lands

The Town of Milton resides on the Treaty Lands and Territory of the Mississaugas of the Credit First Nation. We also recognize the traditional territory of the HuronWendat and Haudenosaunee people. The Town of Milton shares this land and the responsibility for the water, food and resources. We stand as allies with the First Nations as stewards of these lands.

FIGURE 1 LOCATION MAP



Council Meeting Date:
October 25, 2021

Scale: 1: 3,000

Files: Z-15/21

Development Services Department



Subject Property





SIMPLIFIED SITE PLAN

• Greenpark Group • Shearling Heights • 1466.17 • Sep. 9, 2021

THE CORPORATION OF THE TOWN OF MILTON

BY-LAW NO. 0XX-2021

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT IN RESPECT OF THE LANDS DESCRIBED AS PART OF LOT 6, CONCESSION 2 NS, BLOCK 360, REGISTERED PLAN 20M-1184, Shearling Heights Estates Ltd. FILE Z-XX-21

WHEREAS the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended;

AND WHEREAS the Town of Milton Official Plan provides for the lands affected by this by-law to be zoned as set forth in this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Milton hereby enacts as follows:

- 1.0 THAT** Schedule A to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing the existing zoning from Mixed Use (MU) to a site specific Mixed Use (MU*XX) zone symbol on the lands shown on Schedule A attached hereto.
- 2.0 THAT** Section 13.1.1 is amended by adding Section 13.1.1.____ to read as follows:

For the purpose of administering the zoning by-law, the lands identified as MU*XX on Schedule A shall be considered to be one lot.

Permitted Uses:

For lands zoned Mixed Use*XX (MU*XX) the following uses shall also be permitted:

1. Townhouses
2. Back-to-Back Townhouses

For the purposes of this By-Law, the following definition shall apply:

“Lot Frontage” shall be defined as the portion of the Lot fronting onto a public street and rearing onto a private street for Buildings 1 and 2, and also shall be defined as the portion of the Lot fronting onto a private open space and rearing onto a private road for Buildings 3 and 4.

Zone Standards:

Notwithstanding the regulations of the Mixed Use (MU) Zone and Table 6F of ZBL 016-2014 to the contrary, the following zone standards shall apply:

1) For Townhouses:

Zone provisions for the RMDII zone shall apply, in addition to the following:

- a) Maximum building height shall be 13.0 m;
- b) Minimum frontage for an end unit (lane access) shall be 6.1 m;
- c) Minimum lot depth (lane access) shall be 16.5 m;
- d) Minimum rear yard shall be 3.0 m;
- e) Minimum exterior side yard shall be 1.2 m;
- f) At-grade landscape elements including shared walkways may encroach into the required front yard or exterior side yard;
- g) Notwithstanding Section 5.6.2 iv) d) A), a residential driveway with a maximum width of 5.53 m on a lot having a frontage of less than or equal 6.5 m shall be permitted;
- h) Notwithstanding Section 5.6.2 vi) a residential driveway leading to an attached garage in the rear yard shall be permitted;
- i) Rooftop amenity area shall be permitted as private amenity area.

2) For Back-To-Back Townhouses:

Zone provisions for the RMDII zone shall apply, in addition to the following:

- a) Maximum building height shall be 13.0 m;
- b) Minimum lot depth is 10.2 m;
- c) Minimum frontage for an end / corner unit (lane access) shall be 6.5 m;
- d) Minimum front yard setback shall be 2.7 m;
- e) Minimum exterior side yard setback shall be 1.2 m;
- f) At-grade landscape elements including shared walkways may encroach into the required front yard or exterior side yard;
- g) Rooftop amenity area shall be permitted as private amenity area.

3) For Mid-Rise Buildings:

- a) Maximum building height shall be 10 storeys or 34.0 m;
- b) A mechanical penthouse is exempt from the maximum height requirements regardless of its setback from the exterior walls of the floor beneath it.
- c) Notwithstanding Table 6F, the application of the 45 degree angular plane is not applicable to buildings on this site.

- d) Notwithstanding Table 6F, where balconies are oriented towards an arterial road, they are permitted above 4.0 m from established grade.
- e) Notwithstanding Table 6F, transformer may be located along a public street beyond the main wall of the building.
- f) Notwithstanding Table 4H, all architectural elements including balconies and extrusions may project a maximum distance of 2.0 m into a required yard setback;
- g) Notwithstanding Table 5K, a loading space shall be setback a minimum of 13.0 m to a street line.
- h) All outdoor open space areas shall be considered outdoor communal amenity space.

3.0 If no appeal is filed pursuant to Section 34(19) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, or if an appeal is filed and the LPAT dismisses the appeal, this by-law shall come into force on the day of its passing. If the LPAT amends the by-law pursuant to Section 34 (26) of the *Planning Act*, as amended, the part or parts so amended come into force upon the day the LPAT's Order is issued directing the amendment or amendments.

READ A FIRST, SECOND AND THIRD TIME and FINALLY PASSED this

day of _____, 2021.

G.A. Krantz Mayor

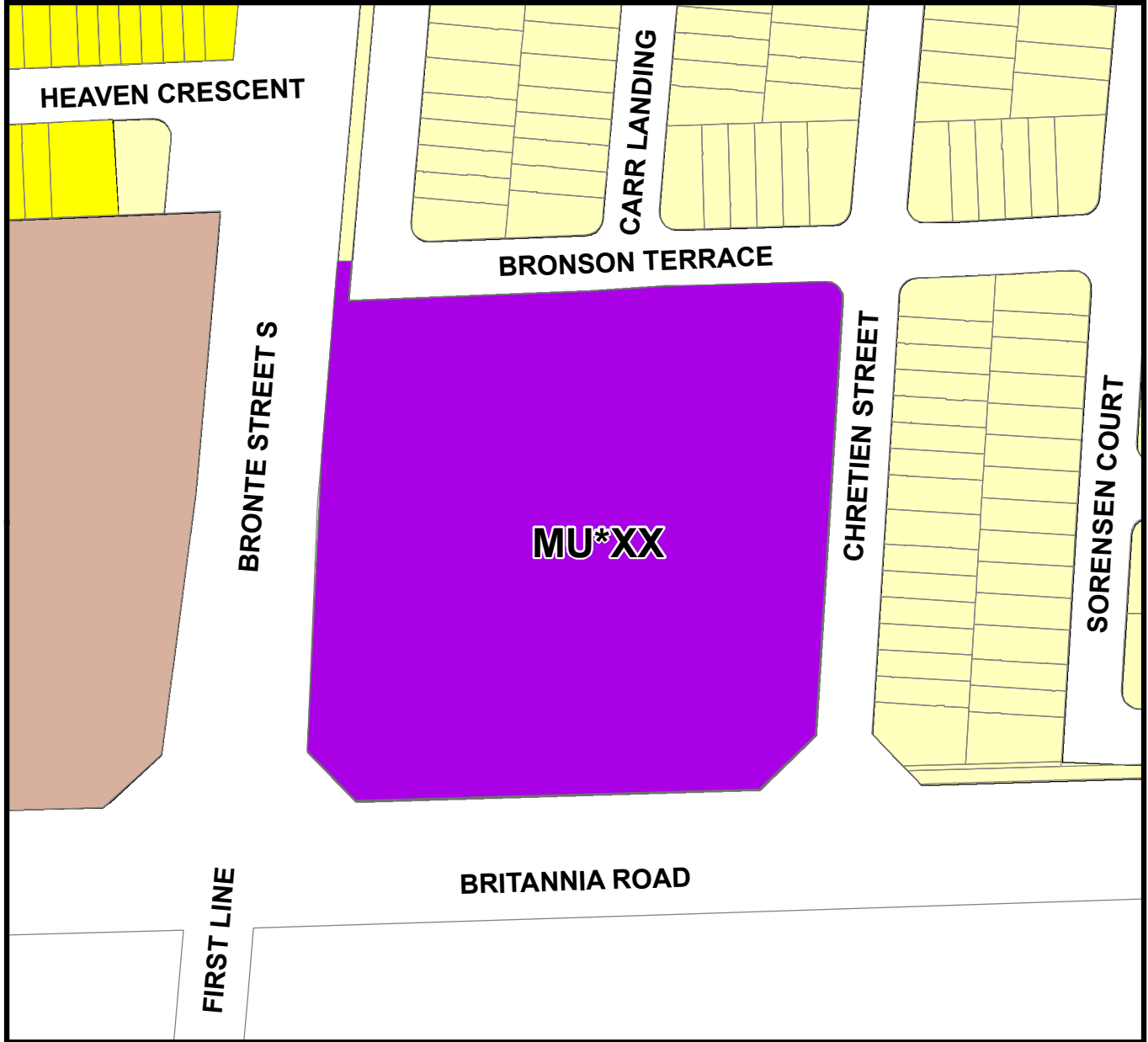
Meaghen Reid Town Clerk

SCHEDULE A
TO BY-LAW No. -2021

TOWN OF MILTON

PLAN 20M1184 BLK 360

Town of Milton



THIS IS SCHEDULE A
TO BY-LAW NO. _____ PASSED
THIS ___ DAY OF _____, 2021.

 MU*XX - Mixed Use Special

MAYOR - Gordon A. Krantz

CLERK- Meaghen Reid

