



The Corporation of the Town of Milton

Report To: Council

From: Barbara Koopmans, Commissioner, Development Services

Date: May 31, 2021

Report No: DS-034-21

Subject: Public Meeting and Initial Report- Zoning By-law Amendment Application by Milton Thompson Developments Limited & Mazmik Developments Limited, to permit the development of a commercial plaza (Files: Z-20/14)

Recommendation: THAT Development Services Report DS-034-21 BE RECEIVED FOR INFORMATION

EXECUTIVE SUMMARY

The applicant is seeking an amendment to the Town's Zoning By-law to rezone the subject lands from the current Future Development (FD) Zone to a site specific Secondary Mixed Use Commercial (C2*XXX) zone. The changes in zoning are requested to facilitate the development of the lands for a commercial plaza.

The application is complete pursuant to the requirements of the Planning Act and is being processed accordingly. Upon completion of the consultation and review process, a technical report, including recommendations, will be brought forward for consideration by Council. The technical report will address issues raised through the consultation and review process.

REPORT

Background

Owner: Milton Thompson Developments Limited & Mazmik Developments Limited, 5400 Yonge Street, Toronto, ON. M2N 5R5.

Applicant: Glen Schnarr & Associates, 10 Kingsbridge Garden Circle, Suite 700, Mississauga, ON. L5R 3K6.

Location: The subject lands are located at the south side of Louis St. Laurent Avenue between Thompson Road South and the future Kennedy Circle extension within the Boyne Survey Secondary Plan. Surrounding land uses include an existing commercial plaza, restaurant and Bristol District Park to the north, future commercial and high density residential to the west, a future secondary school to the east and future high density development to the south.

Background

Proposal:

Application was initially made for a Zoning By-law Amendment in 2014 to accommodate the development of the lands for the purpose of a commercial/retail plaza. However, due to policies within the Boyne Survey Secondary Plan which required the high density residential component of the lands to proceed at the same time as the commercial portion, the application sat dormant. Since that time, the policy framework has been modified and allows for the developments to proceed individually. As such, the application was resubmitted for review. Specifically, the application proposes to change the existing Future Development (FD) zone to a site specific Secondary Mixed Use Commercial (C2*XXX) zone.

Figure 3 illustrates the proposed commercial development. The development consists of six (6) commercial buildings, including a retail/grocery store (Building "A"), two proposed banks (Buildings C & D) and a building with an associated drive through (Building "E") with a total gross floor area of 7,878 square metres (84,807 square feet) and 352 surface parking spaces. Access to the site is proposed off Thompson Road South, Louis St. Laurent Avenue and Kennedy Road.

The following reports and supporting materials have been submitted in support of the application and are currently under review:

- Proposed Retail Development Site Plan (A-100), prepared by Venchiarutti Gagliardi Architect Inc., dated March 23, 2021;
- Functional Servicing and Stormwater Management Report, prepared by Counterpoint Engineering Inc., dated March 26, 2021;
- Conceptual Grading Plan, prepared by Counterpoint Engineering Inc., dated March 25, 2021;
- Servicing Plan, prepared by Counterpoint Engineering Inc., dated March 25, 2021;
- Environmental Noise Feasibility Study, prepared by Valcoustics Canada Ltd., dated March 11, 2021;
- Geotechnical Investigation Revision, prepared by Terraprobe Inc., dated August 11, 2020;
- Phase Two Environmental Site Assessment, prepared by Terraprobe Inc., dated November 22, 2019;
- Reliance Letter for Region of Halton, prepared by Terraprobe Inc., dated February 23, 2021;
- Reliance Letter for Town of Milton, prepared by Terraprobe Inc., dated February 23, 2021;
- Traffic Impact Study, prepared by GHD, dated March 25, 2021;
- Tree Assessment Report, prepared by Ron Koudys Landscape Architects, dated July 2020;
- Updated Draft Implementing Zoning By-Law, prepared by GSAI dated February 2021;



Background

- Urban Design Brief Update, prepared by Michael Spaziani Architect Inc., dated April 1, 2021;
- Urban Design Concept Plan prepared by Michael Spaziani Architect Inc. dated April 1, 2021; and
- Pedestrian Routing Plan, prepared by Michael Spaziani Architect Inc., dated April 1, 2021.

Discussion

Planning Policy

The subject lands are designated Secondary Mixed Use Node as shown on Schedule A - Urban Area Land Use Plan of the Town's Official Plan. Secondary Mixed Use Nodes will generally include between 9,300 and 13,935 square metres of commercial uses. Secondary Mixed Use Nodes may also include office employment uses, a full range of medium II and high density residential development, and Civic, recreational, cultural, entertainment and institutional uses, including secondary schools. Park uses will also be permitted.

Additionally, Louis St. Laurent Avenue is identified as an intensification corridor, as shown on Schedule K- Intensification Areas. Intensification Corridors are defined as "Intensification Areas identified along major roads, arterials or higher order transit corridors that have the potential to provide a focus for high density mixed use development consistent with planned transit service levels".

The lands are located within the Boyne Survey Secondary Plan and are designated Secondary Mixed Use Node area as shown on Schedule C.10.C - Boyne Survey Secondary Plan Land Use Plan. Among other uses described within Section C.10.5.5.1 of the Secondary Plan, single storey commercial buildings are permitted, however commercial buildings with additional height and density is strongly encouraged.

A full review of the applicable planning policies will be undertaken as part of the review of the application.

Zoning By-law 016-2014, as amended

The subject lands are currently zoned Future Development (FD) zone under Zoning By-law 016-2014, as amended. As the Future Development zone only permits existing uses, a Zoning By-law Amendment is required to facilitate the proposed development. Specifically, the Zoning By-law Amendment proposes a site specific Secondary Mixed Use Commercial (C2*XXX) zone containing zone provisions and standards to accommodate the proposed commercial development. A draft Zoning By-law is attached as Appendix 2.



Discussion

Site Plan Control

Should the applications be approved, a site plan application and site plan approval will be required prior to the development proceeding.

Public Consultation and Review Process

Notice for the public meeting was provided pursuant to the requirements of the Planning Act.

Staff has identified the following issues to be reviewed:

- Site Design, Built Form and Urban Design
- Land Use Compatibility
- Traffic Impacts, Pedestrian and Vehicle Access/Circulation
- Consistency with PPS and conformity with Growth Plan for the Greater Golden Horseshoe
- Servicing and Stormwater Management.

Financial Impact

None arising from this Report

Respectfully submitted,

Barbara Koopmans, MPA, MCIP, RPP, CMO
Commissioner, Development Services

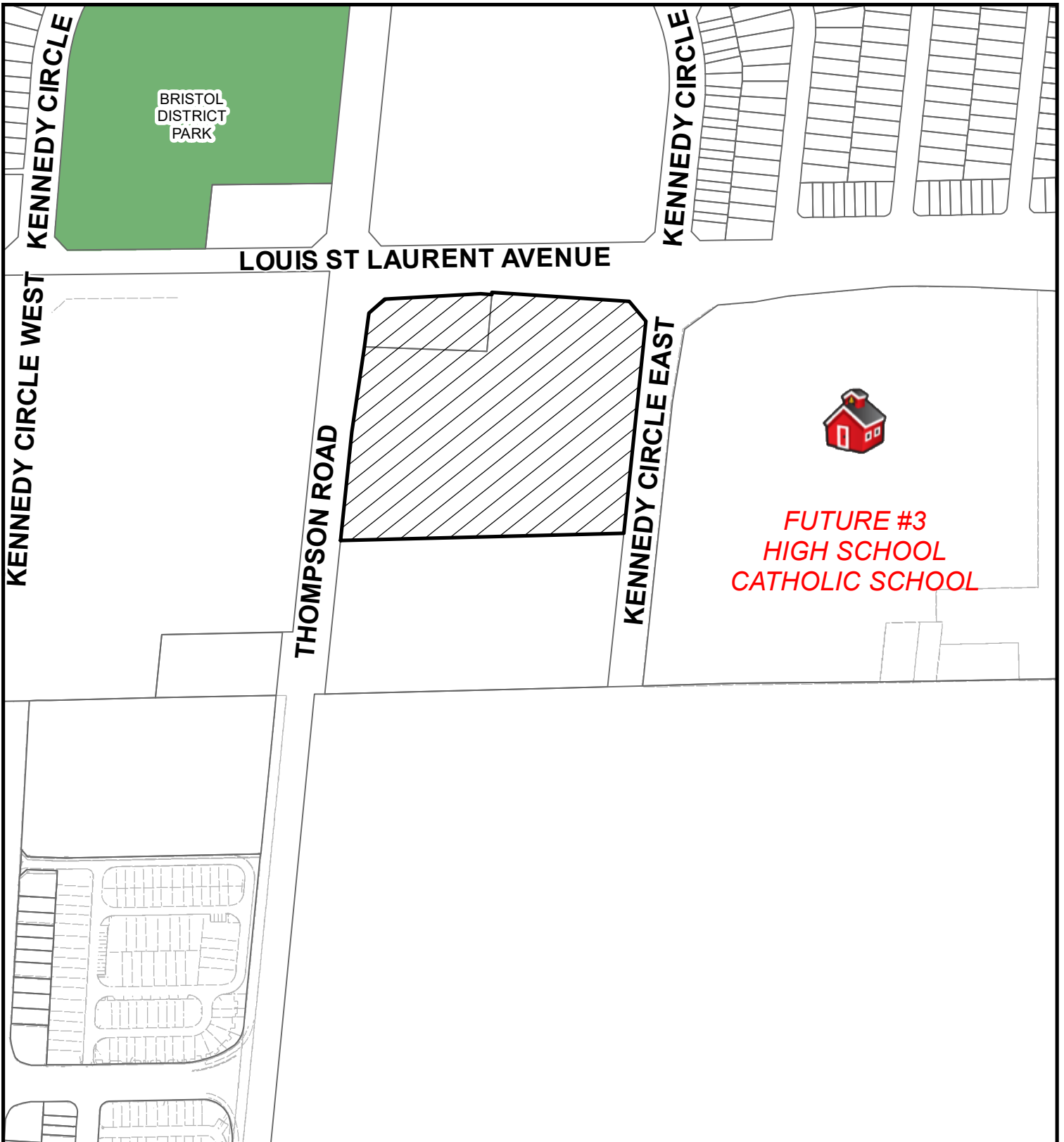
For questions, please contact: Aaron Raymond, MCIP, RPP Phone: Ext. 2313
Senior Planner

Attachments

Figure 1 - Location Map
Figure 2 - Concept Plan
Appendix 1 - Draft Zoning By-law Amendment and Schedule

CAO Approval
Andrew M. Siltala
Chief Administrative Officer

FIGURE 1 LOCATION MAP



Council Meeting Date:
May 31, 2021

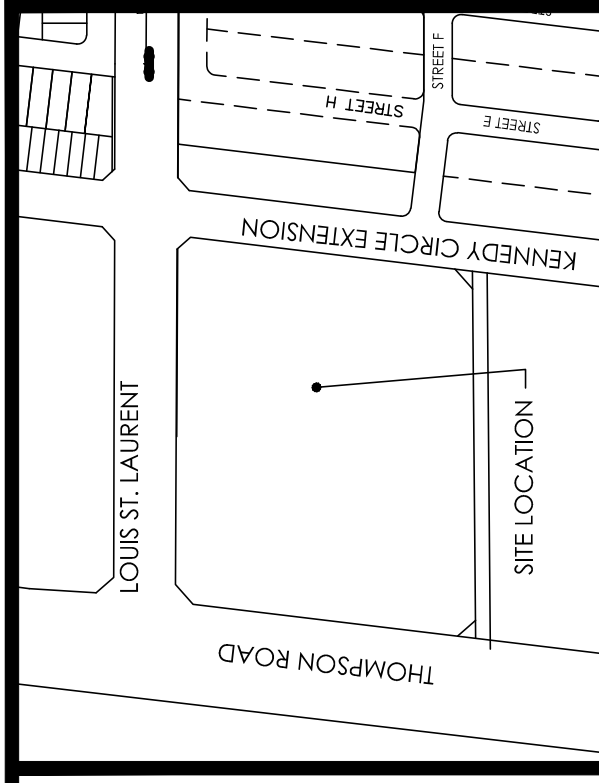
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Files: Z-20/14

Development Services Department



Subject Property

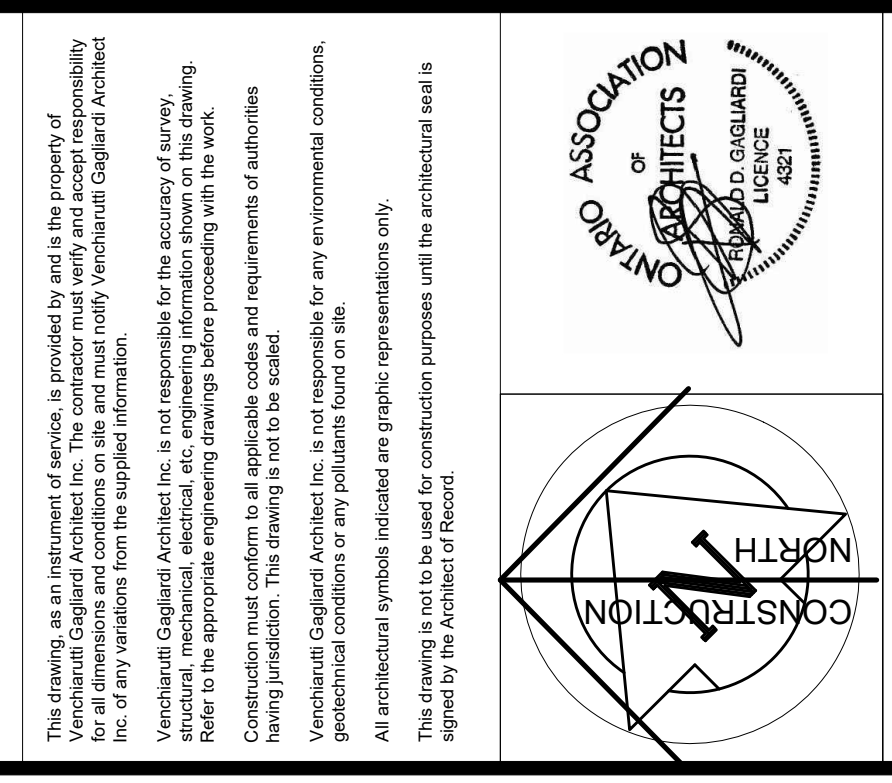


KEY MAP
SCALE: N.T.S.

SYMBOL	LEGEND
	MAIN DOOR LOCATIONS
	DRIVE-IN LOCATIONS
	ENTRANCE & EXIT VESTIBULES
	LANDSCAPING ISLANDS
	100MM CONC. CURB C&G, AS SHOWN
	150MM CONC. CURB C&G, AS SHOWN
	200MM CONC. CURB C&G, AS SHOWN
	300MM CONC. CURB C&G, AS SHOWN
	PAINTED ISLANDS, AS PER PAINT SPEC.
	ACCESSIBLE PATH OF TRAVEL
	PROPERTY LINE
	DESIGNATED FIRE-ROUTE (REFER TO CIVIL DRAWINGS FOR ACCESSIBLE PARKING SIGN)
	ACCESSIBLE PARKING SIGN
	ACCESSIBLE PARKING STALL
	ELECTRICAL ROOM
	MECHANICAL ROOM
	CART CORRAL
	CROSSWALK

NO.	DATE	REVISIONS	BY
#1	08.23.21	ISSUED FOR REZONING	RTA

DATE	PARTICULARS	BY
	Issued for Design Approval	
	Issued for Site Plan Approval	
	Issued for Pricing and Budgeting	
	Issued for Building Permit	
	Issued for Tendering	
	Issued for Construction	
	Issued for Record Set of Docs.	



VGA
Vachani Gagliardi Architects Inc.
251 John Street, 1st Fl., Markham, ON L3R 2V5
T 905-477-1065 F 905-477-1067
www.vga.net

PROJECT
PROPOSED RETAIL DEVELOPMENT

THOMPSON ROAD & LOUIS ST. LAURENT
MILTON, ONTARIO

DRAWING NAME
SITE PLAN

SCALE
AS NOTED

DATE OF PROJECT
MAR 23, 2021

PROJECT NO.
11023

DRAWN BY
RTA

SHEET NO.
A-100

CHD BY
RDS

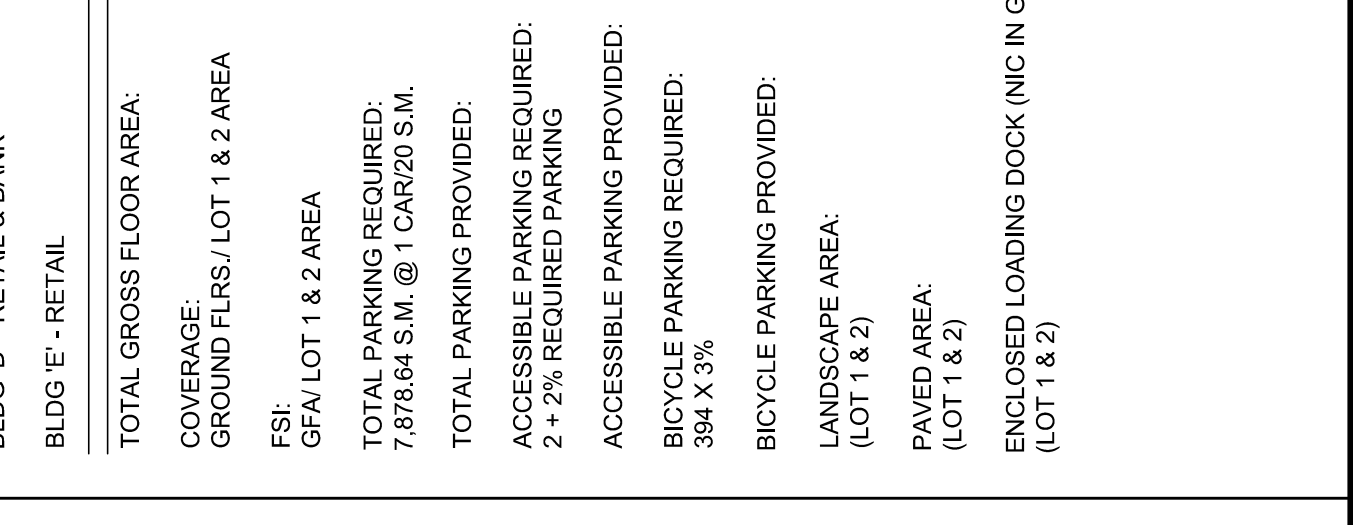
SURVEY INFORMATION:
PLAN OF SURVEY OF CONGRESSION 4, NEW SURVEY TOWN OF MILTON, REGIONAL MUNICIPALITY OF HALTON
J.D. BARNES LIMITED LAND INFORMATION SPECIALISTS
MILTON, ON L7R 3C2
TEL: 905.875.9955
WWW.JDBARNES.COM
REFERENCES: L208-143-008
DATE: JULY 25, 2018

SITE ANALYSIS
PROPOSED LOT AREA:
PROPOSED LOT AREA (LOT 1): 20,088.17 S.M. (6.46 AC)
PROPOSED LOT AREA (LOT 2): 930.10 S.M. (0.28 AC)
WIDENING LOT AREA (LOT 3): 2,369.23 S.M. (0.59 AC)
WIDENING LOT AREA (LOT 4): 2,658.76 S.M. (0.66 AC)
WIDENING LOT AREA (LOT 5): 1,832.45 S.M. (0.46 AC)
TOTAL PROPOSED LOT AREA: 37,485.91 S.M. (9.27 AC)

LOT AREA 1, 2 & 7: 31,019.44 S.M. (7.67 AC)
LOT AREA 1 & 7: 23,565.19 S.M. (5.87 AC)

BUILDING AREA:
BLDG 'A' - RETAIL (GROcery): 4,196.25 S.M. (1,036.67 S.F.)
GROUND FLOOR: 205.00 S.M. (51,200 S.F.)
TOTAL BLDG 'A': 4,401.25 S.M. (1,087,870 S.F.)
BLDG 'A' - RETAIL (CRUIS): 877.92 S.M. (219,456 S.F.)
BLDG 'B' - RETAIL (CRUIS): 877.92 S.M. (219,456 S.F.)
BLDG 'C' - RETAIL & BANK: 728.65 S.M. (182,144 S.F.)
BLDG 'D' - RETAIL & BANK: 550.15 S.M. (138,158 S.F.)
BLDG 'E' - RETAIL: 441.75 S.M. (110,175 S.F.)
TOTAL GROSS FLOOR AREA: 7,878.64 S.M. (1,980,774 S.F.)

COVERAGE:
GROUND FLOOR / LOT 1 & 2 AREA: 26.81%
FSI: 26.11%
GFA: LOT 1 & 2 AREA: 384 CARS
TOTAL PARKING PROVIDED: 352 CARS
7,878.64 S.M. @ 1 CAR/20 S.M.
ACCESSIBLE PARKING REQUIRED: 2+2% REQUIRED PARKING
ACCESSIBLE PARKING PROVIDED: 11 CARS
BICYCLE PARKING PROVIDED: 12 SPACES
BICYCLE PARKING REQUIRED: 3M X 3%
BICYCLE PARKING PROVIDED: 18 SPACES
LANDSCAPE AREA (LOT 1 & 2): 7,174.40 S.M. (64.1%)
PAVED AREA (LOT 1 & 2): 14,196.19 S.M. (47.6%)
ENCLOSED LOADING DOCK (NIC IN GFA) (LOT 1 & 2): 342.61 S.M. (1.17%)



1 SITE PLAN
SCALE: 1:500

2 LOT LEGEND
SCALE: N.T.S.

THE CORPORATION OF THE TOWN OF MILTON

BY-LAW NO. 0XX-2021

BEING A BY-LAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT IN RESPECT OF THE LANDS DESCRIBED AS PART OF LOT 8, CONCESSION 4, FORMER GEOGRAPHIC SURVEY OF TRAFALGAR, TOWN OF MILTON, REGIONAL MUNICIPALITY OF HALTON (MILTON THOMPSON DEVELOPMENTS LIMITED AND MAZMIK DEVELOPMENTS LIMITED) TOWN FILE: Z-20/14.

WHEREAS the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended;

AND WHEREAS the Town of Milton Official Plan provides for the lands affected by this by-law to be zoned as set forth in this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Milton hereby enacts as follows:

1.0 THAT Schedule A to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing the existing Future Development (FD) zone symbol to Secondary Mixed Use Commercial – site specific (C2*AAA) and zone symbol on the land shown on Schedule A attached hereto.

2.0 THAT Section 13.1 is amended by adding Section 13.1.1. ___ to read as follows:

For lands zoned Secondary Mixed Use Commercial *AAA (C2*AAA) the following standards and provisions also apply:

1. Special Zone Provisions:

- a) Maximum Front Yard setback shall be 19.75 metres
- b) Minimum Rear Yard setback shall be 3.0 metres
- c) Minimum Interior Side Yard setback shall be 4.0 metres
- d) Minimum Exterior Side Yard setback shall be 3.0 metres
- e) Minimum gross floor area for all combined buildings shall be 7,878 square metres
- f) Minimum Landscaped Buffer abutting a street line shall be 1.8 metres

- g) Minimum Landscape Buffer abutting a residential zone shall be 0.0 metres
- h) To permit on-site parking spaces at a rate of 1 space per 22 square metres of gross floor area
- i) Notwithstanding Section 4.18, a restaurant patio shall be setback a min 0.0 metres from a parking area.
- j) Notwithstanding Section 5.18.1 (Queuing Space Requirements) the minimum number of Ingress spaces shall be 8 and the minimum number of Egress spaces shall be 1.
- k) Notwithstanding Section 5.18.4 (Setbacks for Queuing Lanes), the minimum setback for a queuing lane to a street line shall be 3.0 metres
- l) Notwithstanding Section 5.18.4 (Setbacks for Queuing Lanes), the minimum setback from a voice order box shall be 4.4 metres to a street line
- m) Notwithstanding Section 5.11.1 (iv), a loading space and area shall be setback a minimum of 4.0 metres from an adjacent residential zone.
- n) Notwithstanding Section 5.1 (ix), a loading space may be provided inside the building enclosure.
- o) Notwithstanding Table 5J, to provide a minimum of 2 loading spaces on site.

3.0 If no appeal is filed pursuant to Section 34(19) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, or if an appeal is filed and the LPAT dismisses the appeal, this by-law shall come into force on the day of its passing. If the LPAT amends the by-law pursuant to Section 34 (26) of the *Planning Act*, as amended, the part or parts so amended come into force upon the day the LPAT's Order is issued directing the amendment or amendments.

PASSED IN OPEN COUNCIL ON

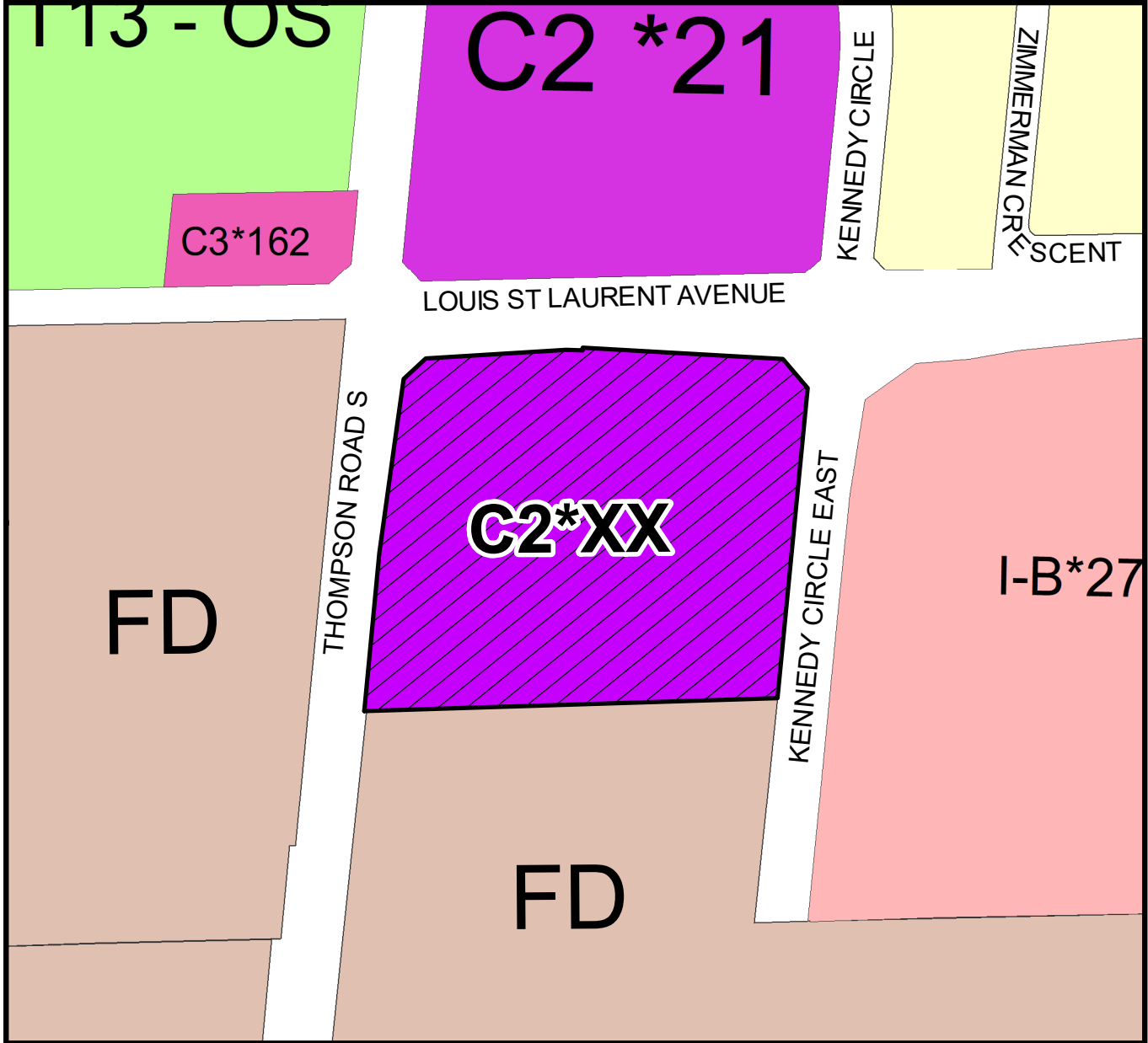
_____ Mayor
G.A. Krantz

_____ Town Clerk
Meaghen Reid

SCHEDULE A
TO BY-LAW No. -2021
TOWN OF MILTON

PART LOT 8 CONCESSION 4 TRAFALGAR NEW SURVEY

Town of Milton



THIS IS SCHEDULE A
TO BY-LAW NO. _____ PASSED
THIS ___ DAY OF _____, 2021.



 C2*XX - Secondary Mixed Use Commercial Zone

MAYOR - Gordon A. Krantz

CLERK- Meaghen Reid