



The Corporation of the Town of Milton

Report To:	Council
From:	Barbara Koopmans, Commissioner, Development Services
Date:	September 21, 2020
Report No:	DS-029-20
Subject:	Public Meeting and Initial Report for Zoning By-law Amendment Application submitted by Fernbrook Homes (Milton One) Limited, applicable to lands known municipally as 8175 Britannia Road, Milton (Town File: Z-10/20).
Recommendation:	THAT Development Services Report DS-029-20 be RECEIVED FOR INFORMATION.

EXECUTIVE SUMMARY

The applicant is seeking amendments to the Town of Milton Zoning By-law 016-2014, as amended, to permit the development of a 254 unit stacked townhouse development.

The proposed concept site plan provides nine stacked townhouse blocks containing 254 units. Seven of the blocks are arranged around the perimeter of the property, with an internal circulation ring road surrounding the other two blocks and the primary outdoor communal amenity area. The majority of the provided parking will be located below grade, accessed from a ramp located on the internal circulation ring road.

The application is complete pursuant to the requirements of the *Planning Act* and is being processed accordingly. Upon completion of the consultation and review process, a technical report, including recommendations, will be brought forward for consideration by Town Council. The technical report will address issues raised through the consultation and review process.

REPORT

Background

Owner: Fernbrook Homes (Milton One) Limited, 2220 Highway 7 West, Concord ON

Applicant: Robert Russell Planning Consultants Inc., 32 Albert Street, Georgetown, ON.

Location/Description: The property is situated on the north side of Britannia Road, approximately 250 metres east of Regional Road 25. The property is 1.55 hectares in area with a rectangular shape. The width is approximately 111 metres, and the depth is

approximately 150 metres. The immediate neighbourhood context is generally rural to the south, consisting of agricultural uses and large lot residential properties. The lands immediately to the north and east form part of the Primont Homes draft approved plan of subdivision (24T-14004/M) and the lands to the west are predominantly part of the Sunset plan of subdivision (24T-16001/M) and other lands owned by Halton Region. The lands west of Regional Road 25 have recently developed, or are in the constructions stages of development, as predominantly urban residential neighbourhoods.

The Fernbrook property at 8175 Britannia Road contains two structures, a small former community centre and a storage shed. The property was previously known as the Boyne Soccer Field and Community Centre and was owned by the Town of Milton. There are a few trees near these structures and one tree near the rear property line, but the site is otherwise devoid of large vegetation and has recently been in agricultural production.

Proposal

Fernbrook Homes is proposing to develop the site with 9 stacked townhouse blocks containing 254 units. Seven of the blocks are arranged around the perimeter of the property, with an internal circulation ring road surrounding the other 2 blocks and the primary outdoor communal amenity area. The majority of the provided parking will be located below grade, accessed from a ramp located on the internal circulation ring road. 402 parking spaces are provided underground consisting of 56 visitor spaces and 346 resident spaces. 8 additional visitor parking spaces are proposed to also be provided at grade. The townhouse blocks will contain 3 full storeys above grade plus one story partially below grade, with underground parking below that.

All units are proposed to contain 2 bedrooms, or 1 bedroom with den, to be selected by the purchaser. Other configurations may be designed and offered based on market demand at the time of sales. Each block contains between 24 and 32 units, each ranging in size from 573.2 m² to 793 m² of Gross Floor Area. Total GFA of the project is 27,203.8 m². The design vision for the proposed development is to create an attractive, compact, pedestrian-scaled residential enclave of stacked condominium townhouses with underground parking in a location adjacent to Britannia Road that will be in close proximity to future transit opportunities.

Discussion

Planning Policy:

The subject lands are located within the Boyne Survey Secondary Plan area and within the Cobban Neighbourhood as noted on Schedule C.10.A of the Secondary Plan. They are located on a Major Arterial Road (Britannia Road) with an on-street bike path and enhanced streetscape requirements as noted on Schedule C.10.B. They are designated "Major Node" and "Gateway" on Schedule C.10.C and are within the Phase 3A area as

noted on Schedule C.10.D. The subject lands are also currently zoned Open Space (OS) as a result of their previous use as a community centre and recreational field.

Section C.10.5.1.1 c) of the Boyne Secondary Plan permits High Density Residential uses consisting of apartment buildings and stacked townhouse dwelling units that will be developed with a common underground parking area at a density range of greater than 100 to 200 units per net hectare and a Floor Space Index (FSI) above 1.0. The development as proposed is consistent with these policy requirement. The applicant will be required to demonstrate that the proposal is in accordance with the housing mix and overall density requirements of the Boyne Secondary Plan through the approval process. The development as currently proposed also appears to be consistent with this requirement.

For lands subject to the enhanced streetscape and landscaping requirements (frontage or visibility from Britannia Road), the secondary plan policies require that development along these roads shall be of a high quality of site design and built form. In particular, buildings will be designed to face on these roads, and any significant parking areas will be at least partially screened.

The Gateway policies recognize key points of entry to the Milton Urban Area of the Town. These areas require special design treatment of both the road allowance and any development adjacent to the road allowance. This includes enhanced streetscaping requirements along the western road frontage (Street A as illustrated on the Primont draft approved plan of subdivision (24T-14004/M)) and along the Britannia Road frontage. These frontages shall include a combination of high branching trees, shrubs and hard and soft landscaping treatments to establish a strong street edge. This landscaping treatment will need to resolve the grade transition issues adjacent to the Britannia Road frontage. This treatment will need to also account for the road upgrades currently underway by Halton Region to their and the Town's satisfaction.

While a full review of the applicable planning policies will be undertaken as part of the review of the application, based on the information provided, staff is satisfied that an Official Plan Amendment is not required.

Zoning By-law 016-2014, As Amended

The subject lands are currently zoned Open Space (OS) under Zoning By-law 016-2014, as amended, in recognition of the previous use of the property. As the OS zone does not permit the proposed townhouse uses and as a result, a Zoning By-law Amendment will be required to accommodate the development.

The current application is seeking to rezone the lands to a Mixed Use Zone to permit the proposed development. In addition to permitting the use, the site specific zoning also proposes special provisions required to accommodate the development as proposed.

This includes a 3.0 setback to other zones, an allowance for balconies to be oriented towards an arterial road at any height, minimum landscape open space for residential uses of 15% and at grade patio encroachment of 80% of the required setback, roughly 0.24 m to a property line. All of these deviations from the zoning standards will be assessed through the Town's review of the application.

The Draft Zoning By-law is attached as Appendix 1 to this Report.

Site Plan Control

Should the rezoning application be approved, the applicant will be required to apply for and receive Site Plan Approval from the Town among other things prior to the commencement of any construction.

Public Consultation and Review Process

Notice for the public meeting was provided pursuant to the requirements of the *Planning Act* on August 19, 2020. Notice was placed in the August 27th edition of the Canadian Champion (Milton) newspaper, signage was posted on the Britannia Road frontage of the property, and personal notice was provided by mail to all residents within 200 metres of the subject lands.

With regard to the proposal, staff have identified the following as items requiring review and further consideration:

- Physical and design integration with adjacent developments;
- Overall site design, setbacks, building orientation and separation;
- Pedestrian and vehicle access/ circulation;
- Private amenity space composition;
- Traffic impacts;
- Landscaping treatments throughout the site; and
- Provision of parking.

Financial Impact

None arising from this Report

Respectfully submitted,

Barbara Koopmans, MPA, MCIP, RPP, CMO
Commissioner, Development Services



The Corporation of the Town of Milton

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For questions, please contact:

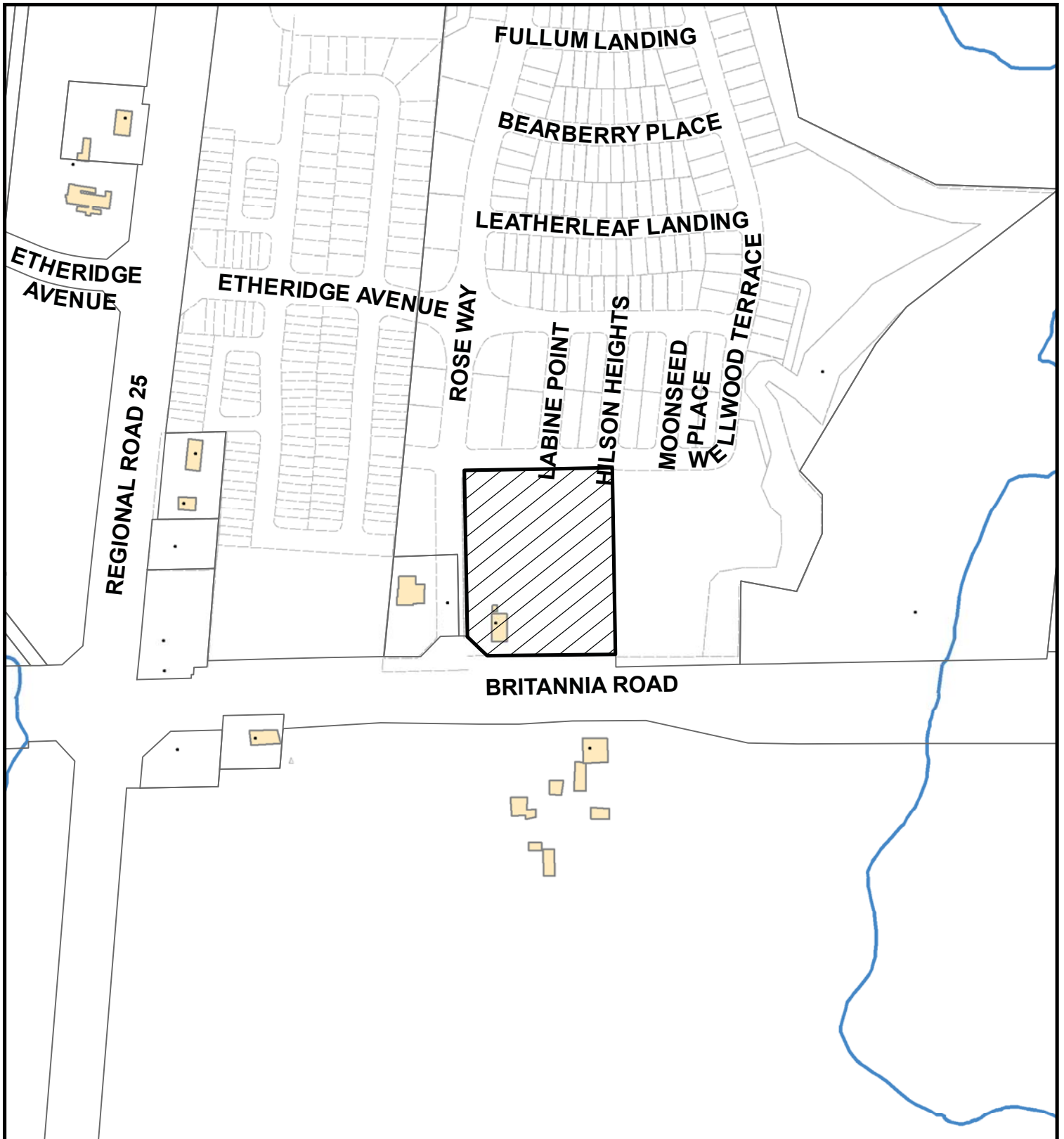
Stirling Todd, MES, MCIP
Senior Planner, Development
Review

Phone: Ext. 2272

Attachments
Figure 1 - Location Map Figure 2 - Concept Plan Appendix 1 - Draft Zoning By-law

CAO Approval
Andrew M. Siltala
Chief Administrative Officer

FIGURE 1 LOCATION MAP



Council Meeting Date:
September 21, 2020

Scale: 1: 4,000

File: Z 10/ 20

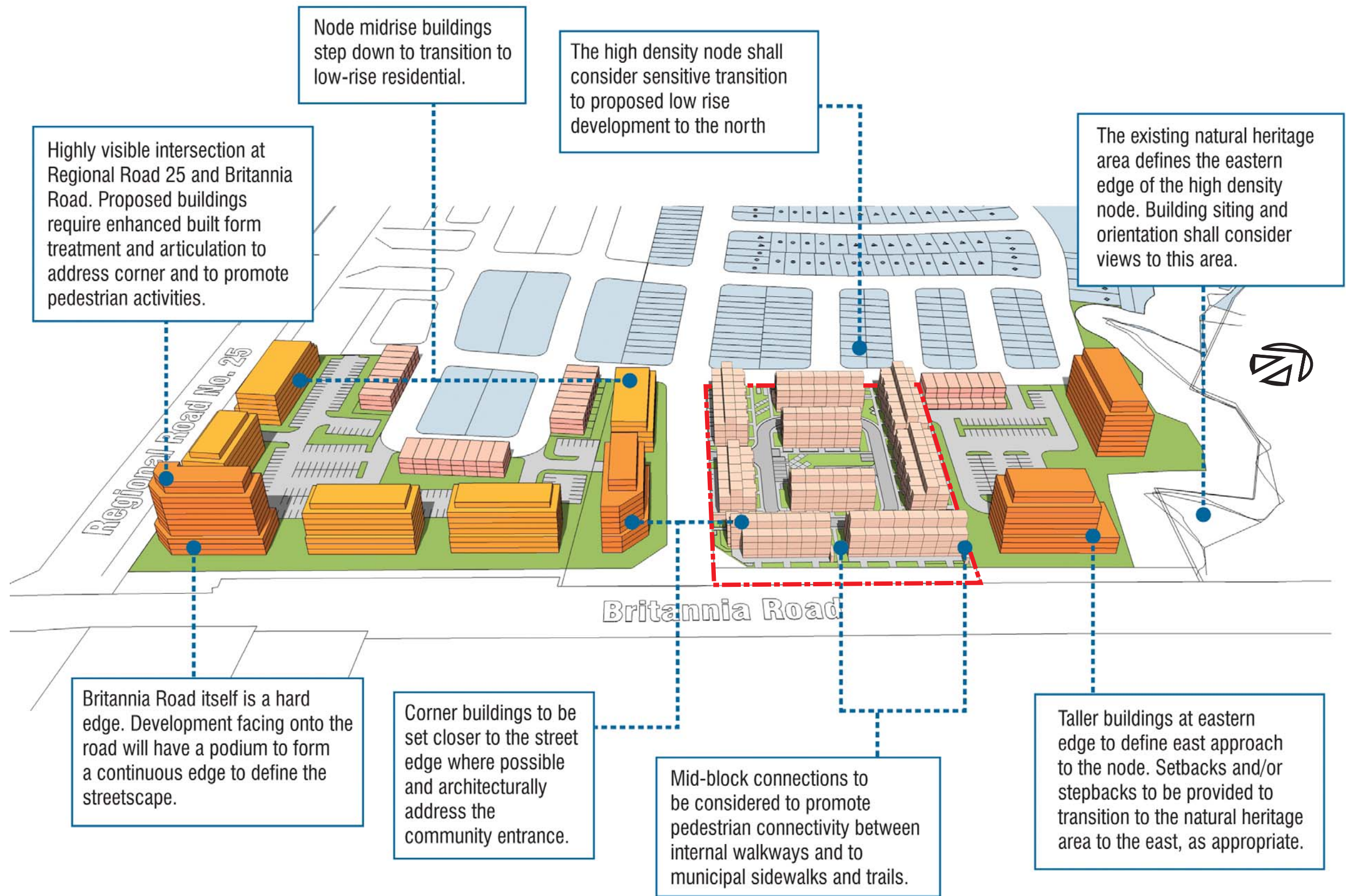
Planning & Development Department



Subject Property

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Figure 2



Legend

- Subject Lands

As required by the Town of Milton, this figure, originally prepared by WSP Group Limited as part of the Urban Design Brief for 8161 & 8321 Britannia Road West, has been updated to reflect the latest development concept by Fernbrook Homes (Milton One) Ltd. within the Major Node Area at the northeast corner of Britannia Road and Regional Road No. 25.

This updated figure will serve as an Addendum to the 8175 Britannia Road Major Node Block - Stacked Townhouse Development Urban Design Brief prepared on behalf of Fernbrook Homes (Milton One) Ltd. by John G. Williams Limited, Architect, dated May 26, 2020.

Update to the Diagrammatic 3D View of Conceptual Node to Illustrate the Latest Development Concept by Fernbrook Homes (Milton One) Ltd. - (Orinignally Prepared by WSP Group Limited)

THE CORPORATION OF THE TOWN OF MILTON

BY-LAW No. ____-2020

BEING A BYOLAW TO AMEND THE TOWN OF MILTON COMPREHENSIVE ZONING BY-LAW 016-2014, AS AMENDED, PURSUANT TO SECTION 34 OF THE PLANNING ACT IN RESPECT OF THE LANDS DESCRIBED AS PART OF LOT 6, CONCESSION 3, FORMER GEOGRAPHIC SURVEY OF TRAFALGAR IN THE TOWN OF MILTON, REGIONAL MUNICIPALITY OF HALTON (FERNBROOK HOMES (MILTON ONE) LIMITED) – File Z-___/____

WHEREAS the Council of the Corporation of the Town of Milton deems it appropriate to amend Comprehensive Zoning By-law 016-2014, as amended:

AND WHEREAS the Town of Milton Official Plan provides for the lands affected by this by-law to be zoned as set forth in this by-law;

NOW THEREFORE the Council of the Corporation of the Town of Milton hereby enacts as follows:

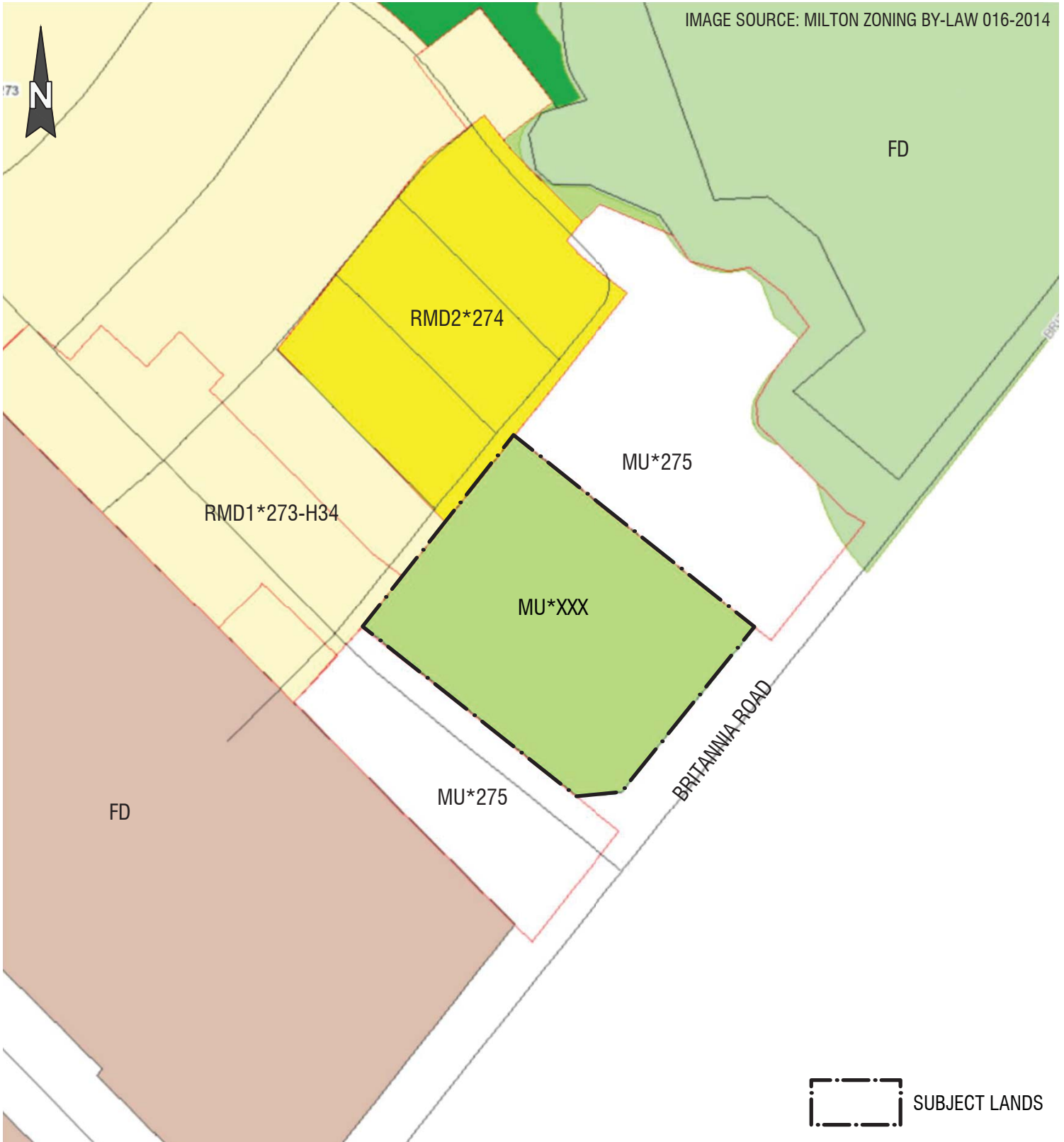
- 1.0 **THAT** Schedule A to Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by changing a portion of the existing Open Space (OS) Zone symbol to Mixed Use (MU) symbol on this property as shown on Schedule A attached hereto.
- 2.0 **THAT** Section 13.1 of Comprehensive Zoning By-law 016-2014, as amended, is hereby further amended by adding subsection 13.1.1???? as follows:
 - i) **Zone Standards for Stacked Townhouse Dwellings**
 - a. Setback to all other zones – 3.0 metres
 - b. Balconies oriented toward an arterial road are permitted at any height
 - c. Minimum Landscape Open Spaces for Residential – 15%
 - d. At Grade Patio encroachment – 80% of required setback (0.24 m to property line)
- 3.0 **THAT** pursuant to Section 34(21) of the Planning Act, R.S.O. 1990, c. P.13 as amended, this by-law comes into affect the day after the last day for filing a notice of appeal, if no appeal is filed pursuant to Subsection 34(19) of the Planning Act, as amended. Where one or more appeals have been filed under Subsection 24(19) of the said Act, as amended, this Zoning By-law Amendment comes into affect when all such appeals have been withdrawn or finally disposed of in accordance with the direction of the Local Planning Appeal Tribunal.

PASSED IN OPEN COUNCIL ON _____

_____ Mayor

_____ Town Clerk

IMAGE SOURCE: MILTON ZONING BY-LAW 016-2014



Schedule A
Proposed Zoning
By-law Amendment
Milton Zoning
By-Law No. ____

8175 BRITANNIA ROAD
MILTON, ONTARIO
L9T 7E7

DATE: AUGUST 2020